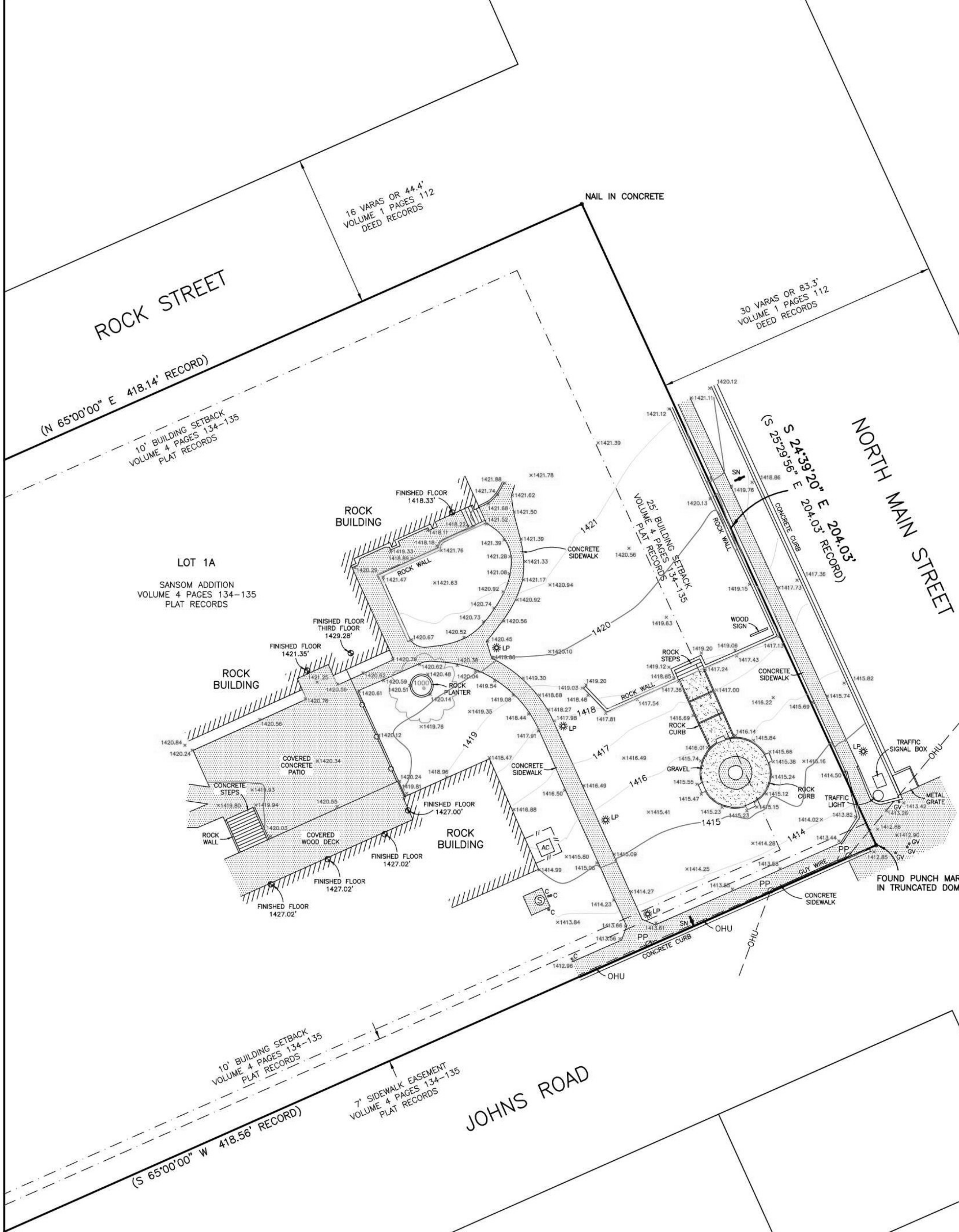


TREE LEGEND:  
1000 10' UNKNOWN TREE



GENERAL NOTES:

1) BASIS OF BEARING WAS ESTABLISHED FROM THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, TEXAS SOUTH CENTRAL ZONE.

2) BEARINGS AND DISTANCES SHOWN HEREON AS RECORD ARE BASED ON PLAT RECORDED IN VOLUME 4, PAGES 134-135, PLAT RECORDS, KENDALL COUNTY, TEXAS.

SURVEY PLAT SHOWING: Topographic Survey for part of Lot 1A, Sansom Addition to the City of Boerne, according to plat thereof recorded in Volume 4, Pages 134-135, Plat Records, Kendall County, Texas.

DONNIE BOERNER SURVEYING COMPANY L.P.  
228 HOLIDAY ROAD  
COMFORT, TEXAS 78013  
PH: 830-377-2492

FIRM NO. 10193963

LEGEND:

- ⊙ SANITARY SEWER MANHOLE
- ⊙ CLEANOUT
- ⊙ GAS VALVE
- SN STREET SIGN
- LP LIGHT POLE ON CONCRETE BASE
- PP POWER POLE
- OHU— OVERHEAD UTILITIES
- W— WOOD FENCE
- W— WROUGHT IRON FENCE



I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THIS TOPOGRAPHIC SURVEY.

DONALD DEAN BOERNER  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5207  
DATE: 09-05-2023 JOB NO: 23-301



2 AERIAL VIEW OF SITE for CONTEXT

SCALE: NOT TO SCALE

TREE NOTES

LEGACY TREE: THE FOLLOWING SPECIES OF TREES, COTTONWOOD, SYCAMORE, AND ALL SPECIES OF CYPRESS, ELM, MAPLE AND OAK (WITH THE EXCEPTION OF ALL VARIETIES OF RED OAKS), PECAN AND TEXAS ASH.

STANDARD TREE: A LEGACY TREE SPECIES THAT HAS A TRUNK CIRCUMFERENCE BETWEEN 37 AND 75 INCHES.

HERITAGE TREE: A LEGACY TREE SPECIES THAT HAS A TRUNK CIRCUMFERENCE (TC) LARGER THAN 75 INCHES.

BEN ADAM, AIA  
ARCHITECT

115 JAMES ST.  
BOERNE, TX 78006  
PH: 830-446-6444

EXPIRES 8.31.2024

PRELIMINARY

NOT FOR REGULATORY  
APPROVAL, PERMIT, OR  
CONSTRUCTION

Benedict M. Adam  
Texas Reg. No. 13094

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THESE DOCUMENTS AND THEIR CONTENTS, INCLUDING WITHOUT LIMITATION, THE DESIGN CONCEPTS AND IDEAS AND EXPRESSIONS THEREOF, ARE STRICTLY CONFIDENTIAL AND MAY BE RELEASED ONLY TO THOSE INTENDED RECIPIENTS APPROVED BY THE ARCHITECT, AND SHALL NOT BE COPIED FROM, OR SHOWN, OR LOANED TO OTHERS. THESE DOCUMENTS AND COPIES OF THEM ARE SUBJECT TO RECALL AT THE DISCRETION OF THE ARCHITECT. THE ARCHITECT RETAINS THE RIGHT TO USE CONCEPTS, PLANS, DETAILS, NOTES, ETC. IN WHOLE OR IN PART ON PREVIOUS AND FUTURE PLANS.

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NEW "BRIDGE CONNECTOR" for  
ST. HELENA'S EPISCOPAL  
CHURCH & SCHOOL  
410 N. MAIN STREET  
BOERNE, TX 78006  
KENDALL COUNTY

CIVIL ENGINEER  
GODSEY ENGINEERING  
WAYNE GODSEY, P.E.  
MEP ENGINEER  
COMPANY  
NAME  
STRUCTURAL ENGINEER  
COMPANY  
NAME

REVISIONS  
DATE ISSUE

02.16.2024 HLC PRELIM PLANS

DATE PRINTED: 2/16/2024

PROJECT NO.: 22-187

DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

SHEET NAME

SURVEY &  
AERIAL VIEW  
OF SITE

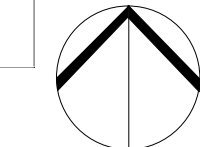
SHEET

AS.100

1 SURVEY - EXISTING CONDITIONS

SCALE: 1" = 20'-0"

PROJECT



NORTH

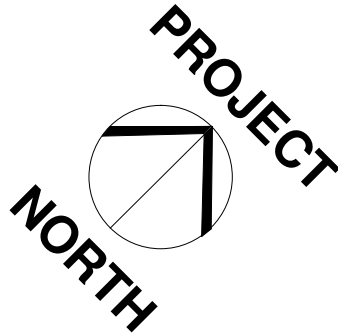
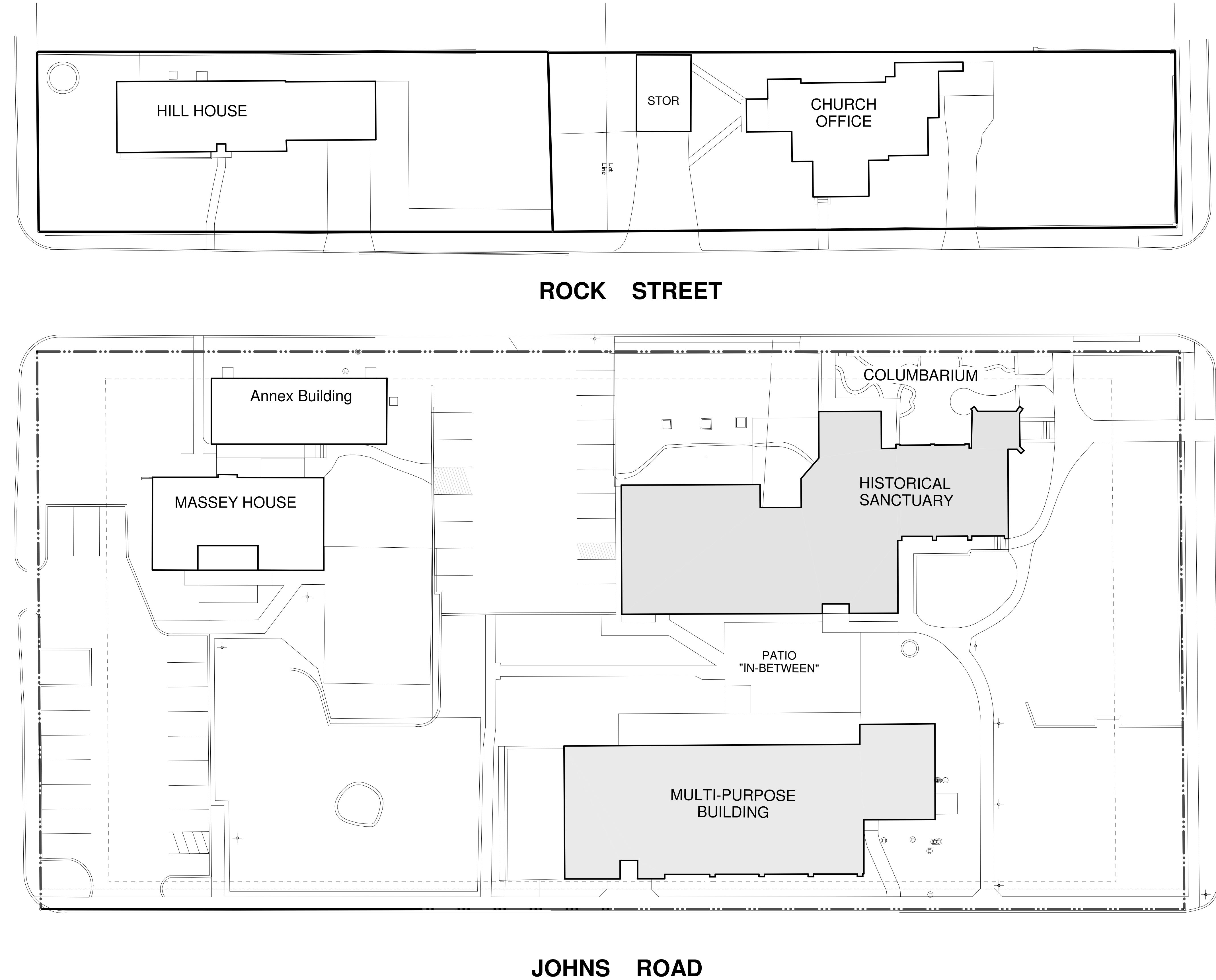


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1

SITE PLAN

SCALE: 1" = 20'-0"



GENERAL SITE PLAN NOTES

- CONTRACTOR TO TAKE PRECAUTIONS TO PROTECT EXISTING BUILDINGS, LANDSCAPING, DRIVES, ETC.
- SUB-CONTRACTORS TO CONFIRM SITE ACCESS AND PARKING REQUIREMENTS w/ GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.
- REPAIR ANY DAMAGE TO EXISTING SITE CONDITIONS DUE TO CONSTRUCTION.
- VERIFY LOCATION OF ALL UTILITIES (i.e. WATER, SEWER, PUMP EQUIPMENT, ELECTRIC, GAS, COMMUNICATIONS, ETC.) WITH BUILDING OWNER PRIOR TO BEGINNING ANY WORK.
- EXACT LOCATION AND DESIGN OF WALKS AND DRIVEWAY TO BE VERIFIED AT JOB SITE BY OWNER & BUILDER.
- PROVIDE NECESSARY CONDUIT FOR ELECTRIC, TELEPHONE AND CABLE SERVICES FROM EXISTING BUILDING AND/OR STREET TO THIS CONSTRUCTION PHASE.
- CONTRACTOR RESPONSIBLE TO PROVIDE APPROPRIATE CONSTRUCTION FENCES FOR LANDSCAPE AND OR ENVIRONMENTAL PROTECTION AS REQUIRED.
- REMOVE TOP SOIL FROM BUILDING PAD SITE. STOCKPILE ON PROPERTY FOR REUSE. IT IS UNDERSTOOD THAT THERE ARE NO TREES ON THE PROPOSED SITE.
- BACKFILL AFTER FOUNDATION/FOOTINGS IN PLACE AND PROPERLY SET. BACKFILL SHALL BE FREE FROM DEBRIS. ALL REMAINS OF FORM WOOD TO BE REMOVED FROM SITE.
- FINISH GRADE SHALL BE A MINIMUM OF 8" BELOW EXPOSED SIDING.
- UPON COMPLETION OF CONSTRUCTION, ANY TOPSOIL REMOVED DURING EXCAVATION SHALL BE SPREAD AROUND BUILDING AND GRADED TO DRAIN TO DRAIN WATER AWAY FROM BUILDING. CREATE SWALES AS NECESSARY TO DRAIN RUNOFF.

STORM WATER MANAGEMENT

- GENERAL TECQ PERMIT COVERS EVERY LOT IN SUBDIVISION UNTIL THE LOT IS CONVEYED TO THE PURCHASER. ANY CONSTRUCTION ACTIVITY, INCLUDING GRADING, CLEARING, EXCAVATION OR OTHER EARTH MOVING, PROJECTS MAY REQUIRE AN NPDES STORMWATER PERMIT FOR CONSTRUCTION. IN TEXAS, THE PROGRAM IS IMPLEMENTED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY.
- TECO  
www.teco.state.tx.us  
TXR 150000
- ADDITIONAL INFORMATION CAN BE OBTAINED FROM THE U.S. EPA OFFICE OF WASTEWATER MANAGEMENT  
(202) 260-5816  
http://www.epa.gov/owwm/sw/
- PHASE I OF EPA'S STORM WATER REGULATIONS REQUIRE OPERATORS OF CONSTRUCTION ACTIVITY DISTURBING 5 ACRES OR MORE OF LAND TO APPLY FOR AN NPDES STORM WATER PERMIT. "DISTURBANCE" REFERS TO EXPOSED SOIL RESULTING FROM CLEARING, GRADING, OR EXCAVATING PERFORMED DURING ROAD BUILDING, CONSTRUCTION, OR DEMOLITION.
- FOR THE PURPOSES OF THE REGULATION, AN "OPERATOR" IS THE PARTY OR PARTIES THAT HAVE OPERATIONAL CONTROL OF THE PROJECT PLANS AND SPECIFICATIONS OR DAY-TO-DAY OPERATIONAL CONTROL OF THE AFFECTED CONSTRUCTION ACTIVITIES.
- UNDER PHASE II RULE, OPERATORS OF CONSTRUCTION ACTIVITIES DISTURBING EQUAL TO OR GREATER THAN ONE ACRE AND LESS THAN FIVE ACRES OF LAND ARE SUBJECT TO NPDES PERMITTING REQUIREMENTS.
- UNDER BOTH PHASE I AND PHASE II RULES, OPERATORS MAY BE REQUIRED TO IMPLEMENT EROSION CONTROL AND SEDIMENT CONTROL PRACTICES, CONTROL WASTE, DEVELOP STORM WATER POLLUTION PREVENTION PLANS, CONDUCT REGULAR INSPECTIONS, OR INCLUDE OTHER BEST MANAGEMENT PRACTICES TO CONTROL WATER POLLUTION. CONSTRUCTION SITES COVERED BY THESE RULES ARE ALSO SUBJECT TO INSPECTION BY STATE OFFICIALS.
- NOTWITHSTANDING ANY INFORMATION PROVIDED IN THIS DOCUMENT, CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND ACCEPTED SAFETY PRACTICES.

EROSION CONTROL NOTES

- ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND VEGETATION IS ESTABLISHED WITH 85% COVERAGE ACHIEVED.
- CONTRACTOR SHALL INSTALL SILT FENCE OR APPROPRIATE SEDIMENTATION / EROSION CONTROL MEASURES ALONG THE PROJECT LIMITS AND ANY DRAINAGE EASEMENTS TO ELIMINATE POTENTIAL PROJECT CONTAMINATE RUNOFF.
- CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON-SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES AND STORMWATER CONTROL IS SUFFICIENT TO MITIGATE OFF-SITE IMPACTS ARE IN PLACE AT ALL STAGES OF CONSTRUCTION.
- THE CITY INSPECTOR HAS THE AUTHORITY TO HAVE THE CONTRACTOR MODIFY THE EROSION CONTROLS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE NOTIFIED OF THESE MODIFICATIONS PRIOR TO COMMENCEMENT OF THE MODIFICATIONS.
- CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH TOPSOIL AND VEGETATION.
- CONTRACTOR TO REMOVE GRASS AND STRIP TOPSOIL TO DEPTHS ENCOUNTERED AND STOCKPILE TOPSOIL TO BE DISTRIBUTED DURING FINAL GRADING OF THE DISTURBED AREAS.
- CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED CONSTRUCTION ENTRANCES AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE FROM MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
- DISTURBED PORTIONS OF THE SITE MUST BE STABILIZED. STABILIZATION PRACTICES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS BEEN EITHER TEMPORARILY OR PERMANENTLY CEASED, UNLESS EXCEPTED WITHIN A TPDES PERMIT.
- CONTRACTOR SHALL INSPECT DISTURBED AREAS, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND VEHICLE ENTRY AND EXIT AREAS AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER.
- ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER.

- GRADING NOTES
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL NOT PLACE ANY FILL OR WASTE MATERIAL IN ANY 100-YEAR FLOODPLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOODPLAIN DEVELOPMENT PERMIT.
- ALL PAVEMENT AND GRADING ADJACENT TO BUILDING SHALL SLOPE AWAY FROM THE BUILDING. ALL PAVEMENT SHALL BE GRADED TO DRAIN WITH A MINIMUM SLOPE OF 1% OR 1:100
- ALL EARTHEN SLOPES TO BE GRADED TO DRAIN WITH A MINIMUM SLOPE OF 1% OR 1:100
- ALL SIDEWALKS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM BUILDING. CROSS SLOPE SHALL NOT EXCEED 1:48 OR 2%
- REVEGETATION
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE CONTRACTOR MUST LOOSEN THE SURFACE OF THE SOIL TO A DEPTH OF 2 INCHES AND REMOVE ALL STONES AND DEBRIS OVER 2 INCHES IN ANY DIMENSION. THE AREA SHALL BE REVEGETATED AND MAINTAINED UNTIL SOIL IS STABILIZED IN ALL AREAS. ANY AREA DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR.
- THE CONTRACTOR MUST CONSTRUCT AND MAINTAIN A PERMANENT STABLE PROTECTIVE COVER (GRASS) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. THE PROTECTIVE COVER MUST BE INSTALLED AFTER APPROVAL OF HOA APPROVAL OF LANDSCAPE PLAN.
- DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEEDED OR RE-SODDED IF NECESSARY.



EXPIRES 8.31.2024

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NEW "BRIDGE CONNECTOR" for  
ST. HELENA'S EPISCOPAL  
CHURCH & SCHOOL

410 N. MAIN STREET  
BOERNE, TX 78006  
KENDALL COUNTY

CIVIL ENGINEER  
GODSEY ENGINEERING  
WAYNE GODSEY, P.E.  
MEP ENGINEER  
COMPANY  
NAME  
STRUCTURAL ENGINEER  
COMPANY  
NAME

REVISIONS

DATE	ISSUE
02.16.2024	HLC PRELIM PLANS

DATE PRINTED: 2/16/2024

PROJECT NO.: 22-187

DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

SHEET NAME

SITE PLAN  
& NOTES

SHEET

AS.101

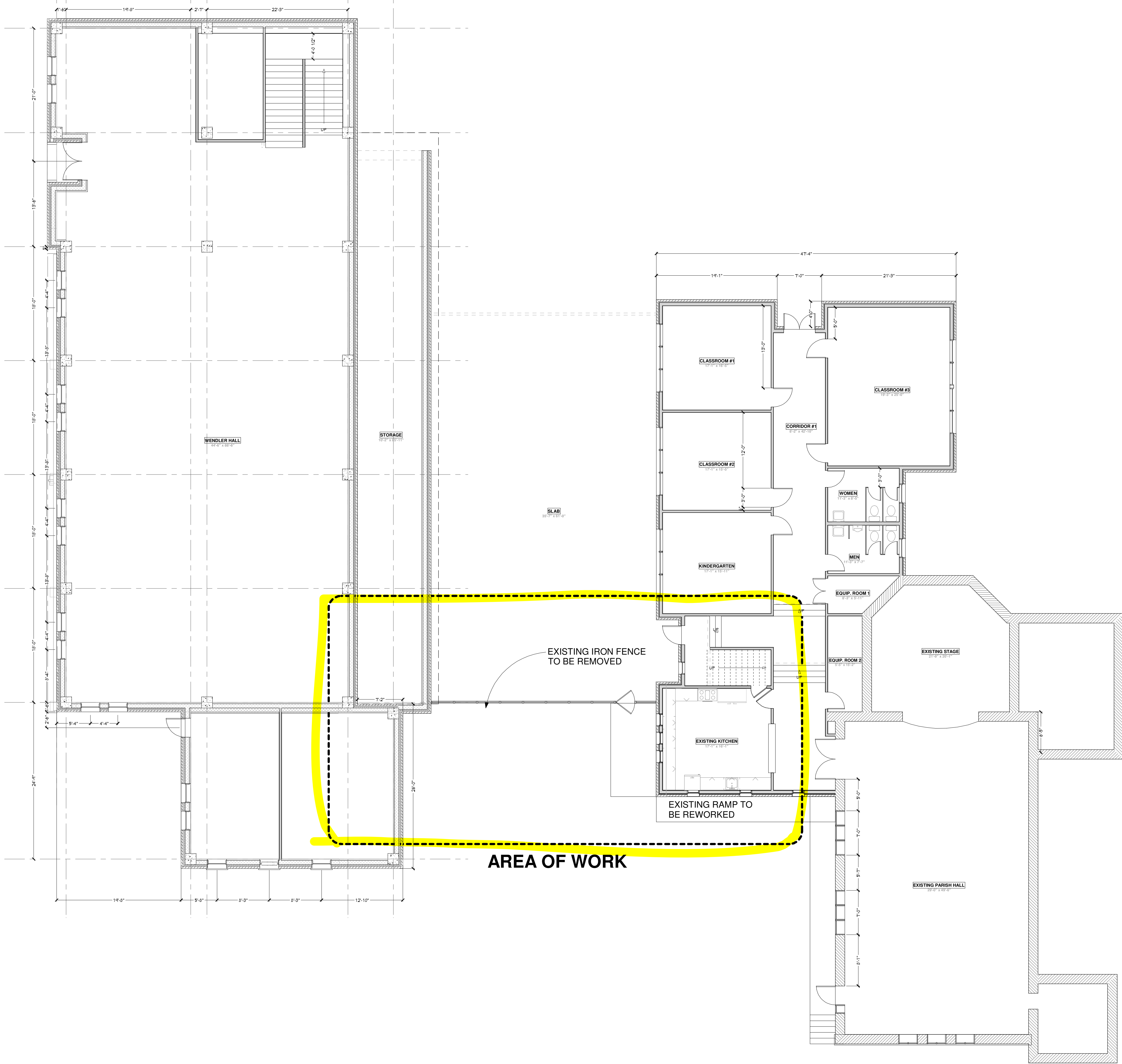


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## EXISTING FLOOR PLAN - LOWER LEVEL

SCALE: 1/8" = 1'-0"



## EPA/LEAD PAINT NOTES

THE LEAD-BASED PAINT RENOVATION, REPAIR, AND PAINTING PROGRAM IS A FEDERAL REGULATORY PROGRAM AFFECTING CONTRACTORS, PROPERTY MANAGERS, AND OTHERS WHO DISTURB PAINTED SURFACES. IT APPLIES TO RESIDENTIAL HOUSES, APARTMENTS, AND CHILD-OCCUPIED FACILITIES SUCH AS SCHOOLS AND DAY-CARE CENTERS BUILT BEFORE 1978. IT INCLUDES PRE-RENOVATION EDUCATION REQUIREMENTS AS WELL AS TRAINING, CERTIFICATION, AND WORK PRACTICE REQUIREMENTS. TRAINING, CERTIFICATION, AND WORK PRACTICE REQUIREMENTS BECAME EFFECTIVE APRIL 22, 2010.

IN GENERAL, ANYONE WHO IS PAID TO PERFORM WORK THAT DISTURBS PAINT IN PRE-1978 HOUSING AND CHILD-OCCUPIED FACILITIES IS AFFECTED. THIS MAY INCLUDE, BUT IS NOT LIMITED TO: RESIDENTIAL RENTAL PROPERTY OWNERS/MANAGERS, GENERAL CONTRACTORS, SPECIALTY TRADE CONTRACTORS INCLUDING PAINTERS, PLUMBERS, CARPENTERS, WINDOW AND DOOR INSTALLERS, SIDING INSTALLERS, ELECTRICIANS, DRYWALL INSTALLERS, HANDYMEN, HVAC TECHNICIANS, AND MANY MORE.

- PARTIAL REQUIREMENTS:
- DISTRIBUTE THE "RENOVATE RIGHT" PAMPHLET BEFORE THE WORK STARTS
  - FIRMS MUST BE CERTIFIED
  - RENOVATORS MUST BE TRAINED
  - LEAD-SAFE WORK PRACTICES MUST BE FOLLOWED. EXAMPLES OF THESE PRACTICES INCLUDE:
    - WORK AREA CONTAINMENT TO PREVENT DUST AND DEBRIS FROM LEAVING THE WORK AREA
    - PROHIBITION OF CERTAIN WORK PRACTICES LIKE OPEN-FLAME BURNING AND THE USE OF POWER TOOLS WITHOUT HEPA EXHAUST CONTROL
    - THOROUGH CLEAN UP FOLLOWED BY A VERIFICATION PROCEDURE TO MINIMIZE EXPOSURE TO LEAD-BASED PAINT HAZARDS.

THE EPA RECENTLY PUBLISHED CHANGES TO THE REQUIREMENTS FOR THE RENOVATION, REPAIR, AND PAINTING RULE. THE CHANGES GO INTO EFFECT ON JULY 6, 2010, AND CERTIFIED RENOVATORS WILL THEN NEED TO COMPLY WITH THE NEW REQUIREMENTS. SEE THE ATTACHED COPY OF THE FEDERAL REGISTER FOR A FULL DESCRIPTION OF THE CHANGES (18 PAGES).

NOTE: THE "OPT-OUT" CLAUSE HAS BEEN ELIMINATED. AS OF JULY 6, 2010, OWNERS CAN NO LONGER SIGN A STATEMENT ALLOWING RENOVATORS TO PERFORM RENOVATIONS IN THE OWNER'S PRE-1978 RESIDENCE WITHOUT FOLLOWING LEAD-SAFE WORK PRACTICES.

THE RENOVATION FIRM MUST NOW PROVIDE A COPY OF ALL OF THE REQUIRED RECORDS TO THE OWNER OF THE RESIDENCE, AS WELL AS NOTIFYING THE AFFECTED UNITS/PARENTS/GUARDIANS OF WHERE THEY CAN OBTAIN A COPY OF THE REQUIRED RECORDS AT NO COST TO THE AFFECTED UNITS/PARENTS/GUARDIANS. COPIES OF THESE RECORDS MUST BE PROVIDED WITHIN 30 DAYS OF COMPLETING THE RENOVATION OR ISSUING THE FINAL INVOICE.

POTENTIALLY AFFECTED CATEGORIES AND ENTITIES MAY INCLUDE, BUT ARE NOT LIMITED TO:

- BUILDING CONSTRUCTION, E.G., SINGLE-FAMILY HOUSING CONSTRUCTION, MULTI-FAMILY HOUSING CONSTRUCTION, RESIDENTIAL REMODELERS
- SPECIALTY TRADE CONTRACTORS, E.G., PLUMBING, HEATING, AND AIR-CONDITIONING CONTRACTORS, PAINTING AND WALL COVERING CONTRACTORS, ELECTRICAL CONTRACTORS, FINISH CARPENTRY CONTRACTORS, DRYWALL AND INSULATION CONTRACTORS, SIDING CONTRACTORS, TILE AND TERRAZZO CONTRACTORS, GLASS AND GLAZING CONTRACTORS
- REAL ESTATE, E.G., LESSORS OF RESIDENTIAL BUILDINGS AND DWELLINGS, RESIDENTIAL PROPERTY MANAGERS
- CHILD DAY CARE SERVICES
- ELEMENTARY AND SECONDARY SCHOOLS, E.G., ELEMENTARY SCHOOLS WITH KINDERGARTEN CLASSROOMS
- OTHER TECHNICAL AND TRADE SCHOOLS, E.G., TRAINING PROVIDERS
- ENGINEERING SERVICES AND BUILDING INSPECTION SERVICES, E.G., DUST SAMPLING TECHNICIANS
- LEAD ABATEMENT PROFESSIONALS, E.G., FIRMS AND SUPERVISORS ENGAGED IN LEAD-BASED PAINT ACTIVITIES.

## ASBESTOS INSPECTION NOTES

TEXAS DEPARTMENT OF HEALTH  
http://www.tdh.state.tx.us  
1100 West 49th Street  
Austin, Texas 78756-3199  
512-458-7111

MUNICIPALITIES ARE REQUIRED TO VERIFY THAT AN ASBESTOS SURVEY HAS BEEN CONDUCTED PRIOR TO ISSUING RENOVATION OR DEMOLITION PERMITS FOR PUBLIC OR COMMERCIAL BUILDINGS. THE SURVEY DETERMINES THE PRESENCE OF ASBESTOS AND WILL ALERT THE BUILDING OWNER ABOUT WHETHER VARIOUS ASBESTOS LAWS APPLY. THE PERMIT APPLICANT MUST PROVIDE EVIDENCE OF THE SURVEY ACCEPTABLE TO THE MUNICIPALITY. THIS LAW WENT INTO EFFECT ON SEPTEMBER 1, 2001, AND AFFECTS RENOVATION AND DEMOLITION PERMITS FOR PUBLIC OR COMMERCIAL BUILDINGS ISSUED BY MUNICIPALITIES ON OR AFTER JANUARY 1, 2002. CONTACT THE ASBESTOS PROGRAMS BRANCH'S OUTREACH/INFORMATION SECTION AT EITHER 1-800-572-5548 OR 512-834-6810.

THE MATERIAL SAFETY DATA SHEETS (MSDS) FOR THE MATERIALS USED IN THE ORIGINAL CONSTRUCTION, THE SUBSEQUENT RENOVATIONS OR ALTERATIONS OF ALL PARTS OF THE BUILDING AFFECTED BY THE PLANNED RENOVATION OR DEMOLITION HAVE BEEN REVIEWED. AND IN THE ENGINEER OR ARCHITECT OR LICENSED ASBESTOS INSPECTOR'S PROFESSIONAL OPINION, ALL PARTS OF THE BUILDING AFFECTED BY THE PLANNED RENOVATION OR DEMOLITION DO NOT CONTAIN ASBESTOS. THIS EXCLUSION STATEMENT, TOGETHER WITH COPIES OF THE MSDS, CAN BE USED INSTEAD OF AN ASBESTOS SURVEY. THIS CERTIFICATION MAY ALSO BE SUPPLEMENTED WITH AN ASBESTOS INSPECTION WHERE BULK SAMPLING IS PERFORMED.

SURVEY EXTENT  
THERE NEEDS TO BE "EVIDENCE ACCEPTABLE TO THE MUNICIPALITY" THAT AN ASBESTOS SURVEY, AS REQUIRED BY STATE AND FEDERAL LAWS, OF ALL PARTS OF THE BUILDING AFFECTED BY THE PLANNED RENOVATION OR DEMOLITION HAS BEEN COMPLETED BY A PERSON THAT IS APPROPRIATELY LICENSED, ACCREDITED, OR TRAINED TO PERFORM A SURVEY.

THIS EVIDENCE COULD BE AS BASIC AS CHECKING A BOX ON THE PERMIT FORM INDICATING THAT THE OWNER/OPERATOR ACKNOWLEDGES THAT A SURVEY HAS BEEN DONE THAT MEETS THE REGULATORY REQUIREMENTS. ALTERNATIVELY, THE CITY COULD REQUIRE A SWORN AFFIDAVIT FROM THE APPLICANT, OR REVIEW THE SURVEY AND VERIFY IF IT MEETS THESE REQUIREMENTS.

THE PURPOSE OF VERIFYING THESE SURVEYS IS SO THE OWNER/OPERATOR OF A PUBLIC OR COMMERCIAL BUILDING IS AWARE THAT A SURVEY IS NEEDED AND IS DONE PRIOR TO RECEIVING THE RENOVATION OR DEMOLITION PERMIT. THE ASBESTOS SURVEYS NEED TO BE KEPT AT THE PROJECT SITE AND AVAILABLE TO THE TEXAS DEPARTMENT OF HEALTH UPON REQUEST.

IN 1989 THE ENVIRONMENTAL PROTECTION AGENCY IMPOSED A BAN TO PHASE OUT ASBESTOS PRODUCTS; HOWEVER, THE UNITED STATES SUPREME COURT OVERTURNED THIS BAN IN OCTOBER 1991. ASBESTOS PRODUCTS SUCH AS FLOOR TILES, ADHESIVES (MASTIC), AND ROOFING MATERIALS CAN STILL BE PURCHASED. TEXAS HOUSE BILL 1827 PROHIBITS THE INSTALLATION OF ASBESTOS-CONTAINING MATERIAL IN PUBLIC BUILDINGS UNLESS THERE IS NO OTHER ALTERNATIVE BUILDING MATERIAL. TO VERIFY IF A BUILDING MATERIAL CONTAINS ASBESTOS, YOU MUST OBTAIN A MATERIAL SAFETY DATA SHEET (MSDS) AND MAKE SURE THAT IF THERE IS ASBESTOS IN THE MATERIAL, THAT IT IS LESS THAN 1%.

CITY OF BOERNE AND TEXAS DEPARTMENT OF STATE HEALTH SERVICES (DSHS) REGULATIONS REQUIRE AN ASBESTOS SURVEY TO BE CONDUCTED IN ALL COMMERCIAL BUILDINGS BEFORE PERFORMING ANY RENOVATION OR DEMOLITION ON A REGULATED STRUCTURE. THE CITY REQUIRES PROOF OF THE SURVEY PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR ALL RENOVATION AND DEMOLITION ACTIVITIES.

THE ASBESTOS SURVEY MUST BE COMPLETED BY A QUALIFIED PERSON LICENSED BY THE DSHS TO PERFORM ASBESTOS SURVEYS IN PUBLIC BUILDINGS. QUALIFIED SURVEYORS INCLUDE ALL INDIVIDUALS LICENSED BY DSHS AS INDIVIDUAL ASBESTOS CONSULTANTS, INDIVIDUAL ASBESTOS MANAGEMENT PLANNERS, AND ASBESTOS INSPECTORS WHOSE REPORTS ARE CO-SIGNED BY AN ASBESTOS CONSULTANT OR ASBESTOS MANAGEMENT PLANNER. IN LIEU OF A SURVEY REPORT, A LETTER FROM A PROFESSIONAL ENGINEER, REGISTERED ARCHITECT, OR PROPERLY LICENSED ASBESTOS PROFESSIONAL CERTIFYING THE ABSENCE OF ASBESTOS CONTAINING BUILDING MATERIALS MAY BE PROVIDED.

STRUCTURES EXEMPT FROM THE ASBESTOS SURVEY REQUIREMENT INCLUDE INDUSTRIAL OR MANUFACTURING FACILITIES WITH LIMITED ACCESS, THE UNITED STATES SUPREME COURT OVERTURNED THIS BAN IN OCTOBER 1991. ASBESTOS PRODUCTS SUCH AS FLOOR TILES, ADHESIVES (MASTIC), AND ROOFING MATERIALS CAN STILL BE PURCHASED. TEXAS HOUSE BILL 1827 PROHIBITS THE INSTALLATION OF ASBESTOS-CONTAINING MATERIAL IN PUBLIC BUILDINGS UNLESS THERE IS NO OTHER ALTERNATIVE BUILDING MATERIAL. TO VERIFY IF A BUILDING MATERIAL CONTAINS ASBESTOS, YOU MUST OBTAIN A MATERIAL SAFETY DATA SHEET (MSDS) AND MAKE SURE THAT IF THERE IS ASBESTOS IN THE MATERIAL, THAT IT IS LESS THAN 1%.

A COPY OF THE ASBESTOS SURVEY REPORT, OR CERTIFICATION LETTER, FOR THE SAME AREA THAT REQUIRES A BUILDING PERMIT, MUST BE PROVIDED WITH THE BUILDING PERMIT APPLICATION. ASBESTOS SURVEY REPORTS ARE ACCEPTABLE FOR AN INDEFINITE PERIOD FOLLOWING THEIR COMPLETION, SO LONG AS THE BUILDING OWNER CAN CERTIFY THAT NO NEW BUILDING MATERIALS THAT MAY CONTAIN ASBESTOS HAVE BEEN ADDED TO THE SPACE COVERED BY THE SURVEY. THE ASBESTOS SURVEY REPORT IS REQUIRED TO BE SUBMITTED ONLY ONCE FOR THE INITIAL PERMIT. THIS CERTIFICATION CAN BE USED FOR SUBSEQUENT RENOVATION PERMITS BY SIMPLY MARKING THE APPROPRIATE SPACE BELOW WITHOUT NEED TO SUBMIT THE ORIGINAL ASBESTOS SURVEY.

## DEMOLITION GENERAL NOTES

DEMOLITION AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.

DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY OR WEEKLY AS DESIGNATED BY OWNER. ALL MATERIALS TO BE DISPOSED OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.

THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.

THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.

THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.

## DEMOLITION KEY NOTES

- 1 DASHED LINES REPRESENT WALLS, DOORS, WINDOWS & FIXTURES TO BE REMOVED. DISPOSE OF PROPERLY.
  - 2 WHEN REMOVED, EXISTING ELECTRICAL WIRING TO BE REMOVED BACK TO SOURCE. PANELS TO BE RELOCATED PER NEW PLAN.
  - 3 REMOVE ALL EXISTING CABINETS, FIXTURES & EQUIPMENT IN EXISTING KITCHEN.
  - 4 EXISTING STONE WALL TO REMAIN.
  - 5 EXISTING COUNTERTOPS, CABINET AND SINK TO BE REMOVED AND DISPOSED OF PROPERLY. ALL PLUMBING LINES NOT TO BE REUSED TO BE CAPPED OFF.
  - 6 EXISTING WINDOW, GLAZING AND FRAMES TO BE REMOVED AND DISPOSED OF PROPERLY.
  - 7 EXISTING LIGHTING, GRILLES, DIFFUSERS, AND FANS TO BE REMOVED, DISPOSE OF PROPERLY. ALL ELECTRICAL WIRING TO BE REMOVED BACK TO SOURCE.
- EXISTING FLOOR FINISHES ON ANY CONCRETE SLAB TO BE REMOVED. PATCH AND REPAIR SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.

BEN ADAM, AIA  
ARCHITECT

115 JAMES ST.  
BOERNE, TX 78006  
7830-446-6444

EXPIRES 8.31.2024

## PRELIMINARY

NOT FOR REGULATORY  
APPROVAL, PERMIT, OR  
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Benedict M. Adam  
Texas Reg. No. 13094

## NOTICE

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THESE DOCUMENTS AND THEIR CONTENTS, INCLUDING WITHOUT LIMITATION, THE DESIGN CONCEPTS AND IDEAS AND EXPRESSIONS THEREOF, ARE STRICTLY CONFIDENTIAL AND MAY BE RELEASED ONLY TO THOSE INTENDED RECIPIENTS APPROVED BY THE ARCHITECT, AND SHALL NOT BE COPIED FROM, OR SHOWN, OR LOANED TO, OR OTHERS. THESE DOCUMENTS AND COPIES OF THEM ARE SUBJECT TO RECALL AT THE DISCRETION OF THE ARCHITECT. NOTE: ARCHITECT RETAINS THE RIGHT TO USE CONCEPTS, PLANS, DETAILS, NOTES, ETC. IN WHOLE OR IN PART ON PREVIOUS AND FUTURE PLANS.

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NEW "BRIDGE CONNECTOR" for  
ST. HELENA'S EPISCOPAL  
CHURCH & SCHOOL

410 N. MAIN STREET  
BOERNE, TX 78006  
KENDALL COUNTY

CIVIL ENGINEER  
GODSEY ENGINEERING  
WAYNE GODSEY, P.E.  
MEP ENGINEER  
COMPANY  
NAME  
STRUCTURAL ENGINEER  
COMPANY  
NAME

REVISIONS  
DATE ISSUE

02.16.2024 HLC PRELIM PLANS

DATE PRINTED: 2/16/2024

PROJECT NO.: 22-187

DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

SHEET NAME

FLOOR PLAN  
LOWER LEVEL  
EXISTING

SHEET

A.100







BEN ADAM, AIA  
ARCHITECT

115 JAMES ST.  
BOERNE, TX 78006  
830-446-6444

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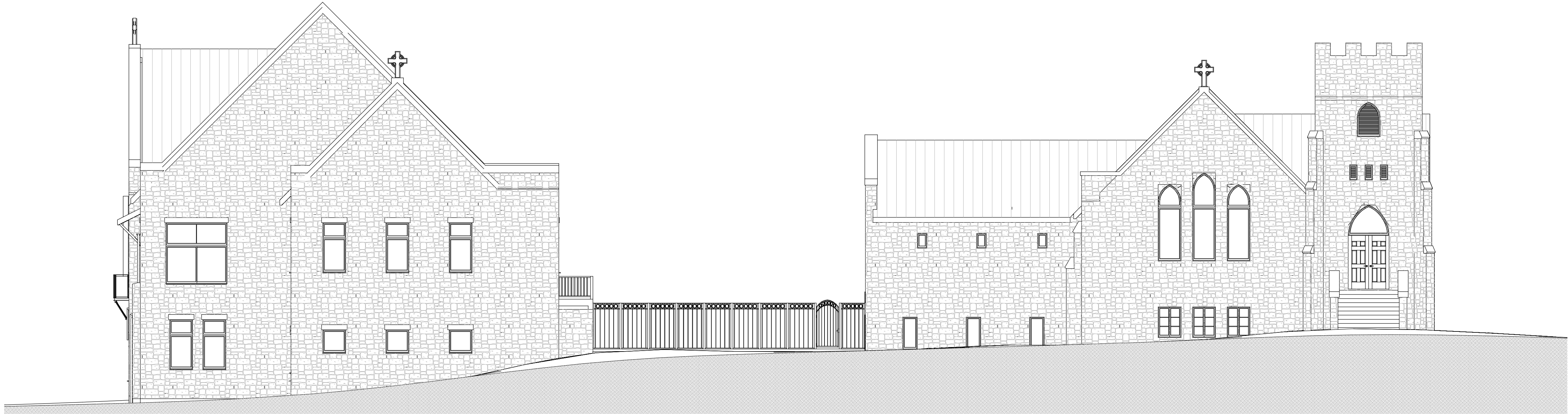
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BCH, MCM  
CHECKED: BMA

SHEET NAME  
EXTERIOR  
ELEVATIONS  
EXISTING

SHEET  
A.102



1 EXISTING ELEVATION - MAIN ST. VIEW (EAST SIDE)

SCALE: 1/8" = 1'-0"



2 EXISTING ELEVATION - JOHN'S RD. VIEW (SOUTH SIDE)

SCALE: 1/8" = 1'-0"



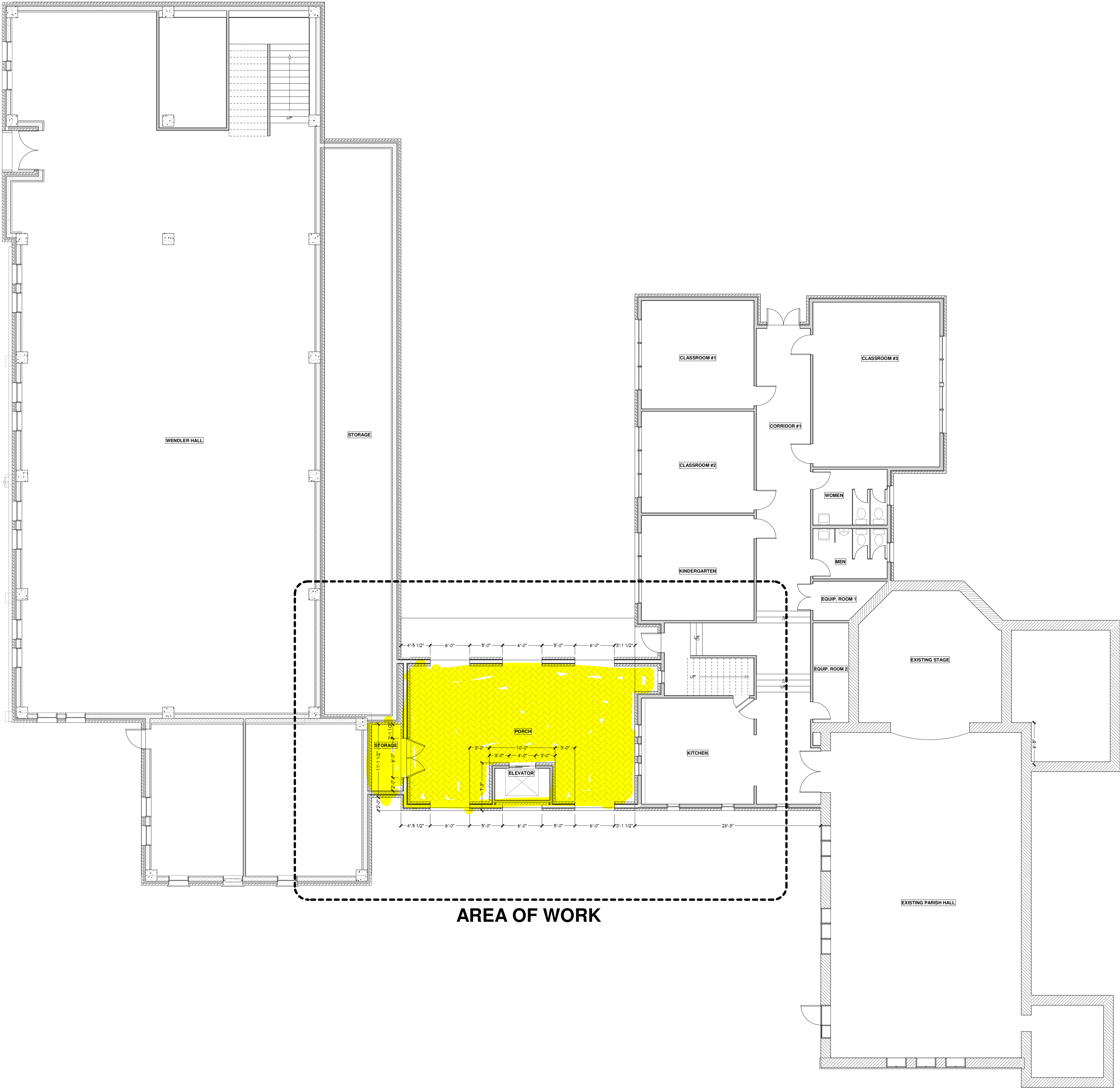




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# 1 FLOOR PLAN - NEW, OVERALL - LOWER LEVEL

SCALE: 1/8" = 1'-0"



## FLOOR PLAN NOTES

PROVIDE BLOCKING IN ALL BATHROOMS FOR ADA GRAB BARS. BLOCKING TO BE A MINIMUM 2X6 WITH CENTER AT 34" AFF. VERIFY VERTICAL GRAB BAR LOCATIONS WITH OWNER.

ALL WINDOWS DIMENSIONED BY CALL SIZE. VERIFY ACTUAL DIMENSIONS OF ROUGH OPENINGS WITH MANUFACTURER.

ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR SHALL BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS PER CODE.

ALL GLAZING USED IN DOORS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.

PROVIDE BLOCKING FOR CEILING FANS IF AND WHERE SHOWN ON PLAN OR REQUESTED IN THE FIELD

BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES AND RELATED COMPONENTS.

ALL ATTIC ACCESS DOORS TO BE WEATHERSTRIPPED.

CONTRACTOR TO PROVIDE 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS. UNITS TO BE WITHIN 20 FT OF ATTIC ACCESS.

## FLASHING NOTES

METAL FLASHING AND COUNTERFLASHING SHALL BE A MINIMUM OF 26 GAUGE

ROOF VALLEY FLASHING SHALL BE A MINIMUM 26 GAUGE CORROSION RESISTANT. METAL VALLEY FLASHING SHALL EXTEND A MINIMUM 8" EACH WAY FROM RAISED 3/4" SPLASH DIVERTER. OVERLAP SECTIONS A MINIMUM OF 6"

FLASH AND COUNTER FLASH AT ALL ROOF TO WALL CONDITIONS

APPLY FOIL/ASPHALT WINDOW WRAP OVER BUILDING WRAP AS FLASHING AROUND ALL EXTERIOR OPENINGS.

## FIRE SAFETY- CONSTRUCTION

- RE-FUELING OF LIQUID FUELED EQUIPMENT SHALL BE PERFORMED AFTER THE EQUIPMENT HAS BEEN ALLOWED TO COOL. (IFC 1403.4)
- SMOKING SHALL BE PROHIBITED EXCEPT IN APPROVED AREAS. (IFC 1404.1)
- COMBUSTIBLE WASTE SHALL NOT BE ACCUMULATED IN BUILDINGS (IFC 1404.2)
- OPEN BURNING OF WASTE MATERIALS IS NOT PERMITTED. (IFC 1404.3)
- ALL HOT WORK OPERATIONS REQUIRE A PERMIT. (IFC 1404.6)
- TEMPORARY ELECTRICAL WIRING MUST COMPLY WITH NFPA 70. (IFC 1404.7)
- IMPAIRMENTS TO FIRE PROTECTIVE SYSTEMS MUST BE IMMEDIATELY REPORTED TO THE FIRE MARSHAL'S OFFICE. (800) 249-2644
- APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION SITES. (IFC 1410.1)
- APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. (IFC 1412.1)
- IN BUILDING WHERE STANDPIPES ARE REQUIRED, NOT LESS THAN ONE STANDPIPE SHALL BE PROVIDED DURING CONSTRUCTION. (IFC 1413.1)
- IT SHALL BE UNLAWFUL TO OCCUPY ANY PORTION OF A BUILDING OR STRUCTURE UNTIL THE AUTOMATIC SPRINKLER SYSTEM INSTALLATION HAS BEEN TESTED AND APPROVED. (IFC 1414.1) "NO PROTECTION, NO PEOPLE"
- STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED WITH NOT LESS THAN ONE FIRE EXTINGUISHER AS FOLLOWS:
  - AT EACH STAIRWAY ON ALL FLOOR LEVELS. B. IN EVERY STORAGE AND CONSTRUCTION SHED. C. NEAR SPECIAL HAZARDS INCLUDING FLAMMABLE OR COMBUSTIBLE LIQUIDS. (IFC 1415.1)
  - DO NOT BURN TRASH OR BRUSH FILES ON-SITE.
  - APPROVED PLANS AND PERMITS MUST BE ON-SITE AVAILABLE FOR INSPECTION AT ALL TIMES.

## GENERAL NOTES

THESE NOTES ARE GENERAL IN NATURE AND ARE INTENDED TO SET A MINIMUM STANDARD FOR CONSTRUCTION. WHERE THERE IS A CONFLICT IN DRAWINGS, SPECIFICATIONS AND THESE NOTES, THE MORE STRINGENT SHALL GOVERN.

CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE. SHALL CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE TENANT OF ANY DIMENSIONAL ERRORS, OMISSIONS AND/OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DIMENSIONS TAKE PRECEDENCE OVER SCALE.

CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ALL FEDERAL, STATE (IBC 2003) COUNTY AND LOCAL CODES. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS.

THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. GC IS RESPONSIBLE FOR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.

SYMBOLS FOR APPLIANCES, PLUMBING, AND OTHER FIXTURES INDICATE SIZE AND POSITION ONLY. REFER TO SELECTIONS AND/OR SPECS FOR ACTUAL CUTOUTS AND COORDINATION ISSUES.

CONTRACTOR SHALL COORDINATE AND PROVIDE METAL BACKING PLATES OR SOLID WOOD BLOCKING (FIRE TREATED) IN WALL PARTITIONS FOR ALL MILLWORK AND WALL ATTACHED ITEMS (GRAB BARS, ETC.)

CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW ROUGH OPENING DIMENSIONS WITH DOOR/WINDOW MANUFACTURER. UNDERCUT ALL DOORS TO CLEAR TOP OF FINISHED FLOOR BY 1/4".

ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY THE OWNER OR UNDER SEPARATE CONTRACT. GC TO INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

CONSTRUCTION DRAWINGS ARE DIAGRAMATIC AND DO NOT INTEND TO SHOW ALL DETAILS AND OR CONDITIONS OF CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR CONFLICTS WHICH MAY OCCUR BECAUSE OF THE ARCHITECTS EXCLUSION FROM PARTICIPATION IN THE ACTUAL DAY TO DAY CONSTRUCTION OF THE PROJECT

WALL DIMENSIONS ARE TO EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE. "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN SAME PLANE. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSION AND ORIENTATION ON PLANS/ELEVATIONS.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.66. PERIMETER OF DOOR SHALL BE WEATHERSTRIPPED.

CONTRACTOR SHALL COORDINATE WITH THE TENANT THE SCHEDULE FOR TELEPHONE AND NETWORK COMPANY INSTALLATION.

WORK AREAS SHALL REMAIN SECURE AND LOCABLE DURING CONSTRUCTION. GC SHALL COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY. THE CONTRACTOR SHALL MAINTAIN FOR THE DURATION FO THE WORK ALL EXITS AND EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL CODES AND ORDINANCES.

BEN ADAM, AIA  
ARCHITECT

1115 JAMES ST.  
BOERNE, TX 78006  
P 830-446-6444

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CIVIL ENGINEER  
GODSEY ENGINEERING  
WAYNE GODSEY, P.E.  
MEP ENGINEER  
COMPANY  
NAME  
STRUCTURAL ENGINEER  
COMPANY  
NAME

## REVISIONS

DATE ISSUE

02.16.2024 HLC PRELIM PLANS

DATE PRINTED: 2/16/2024

PROJECT NO.: 22-187

DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

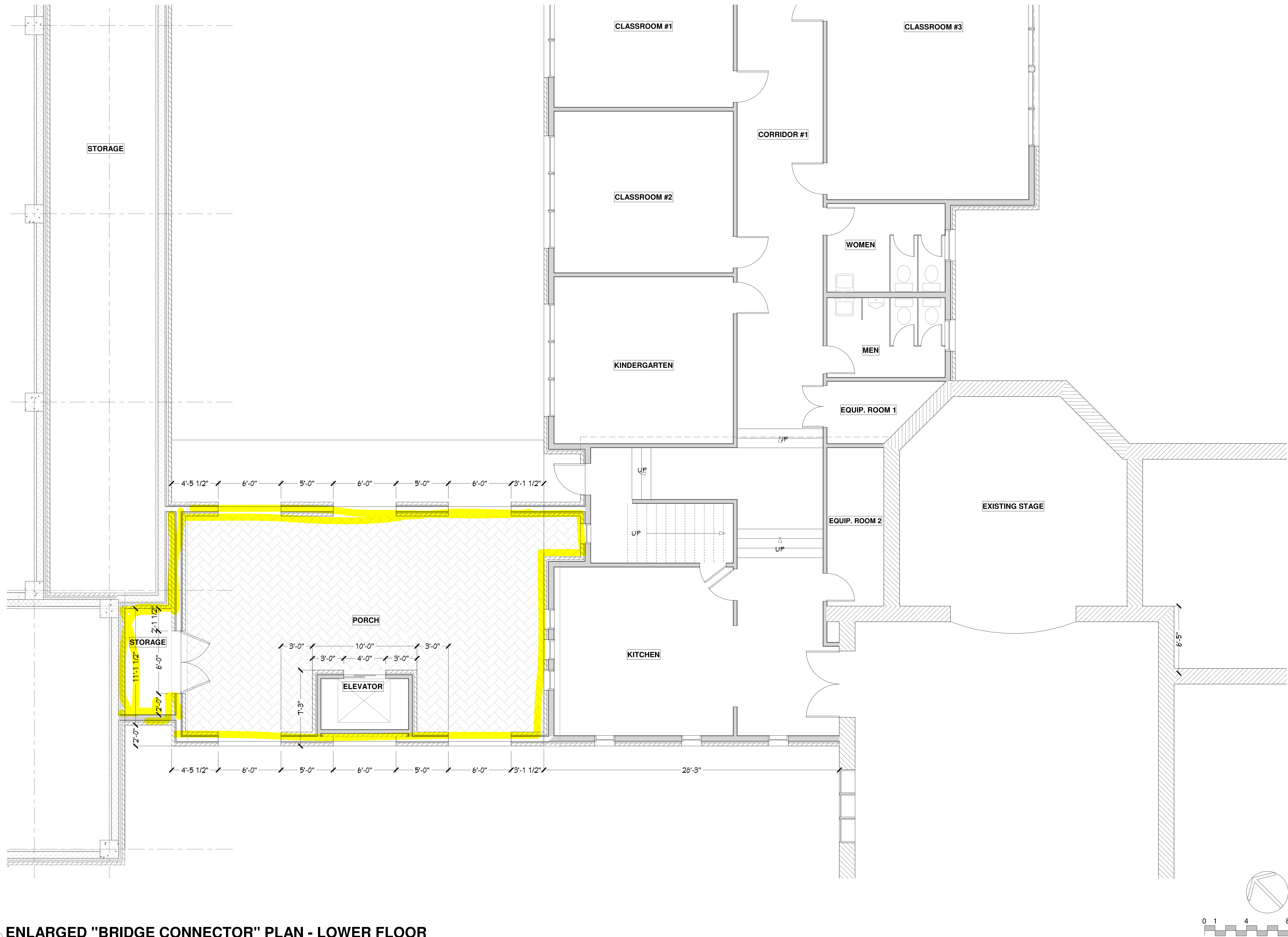
## SHEET NAME

FLOOR PLAN  
NEW  
LOWER LEVEL

SHEET

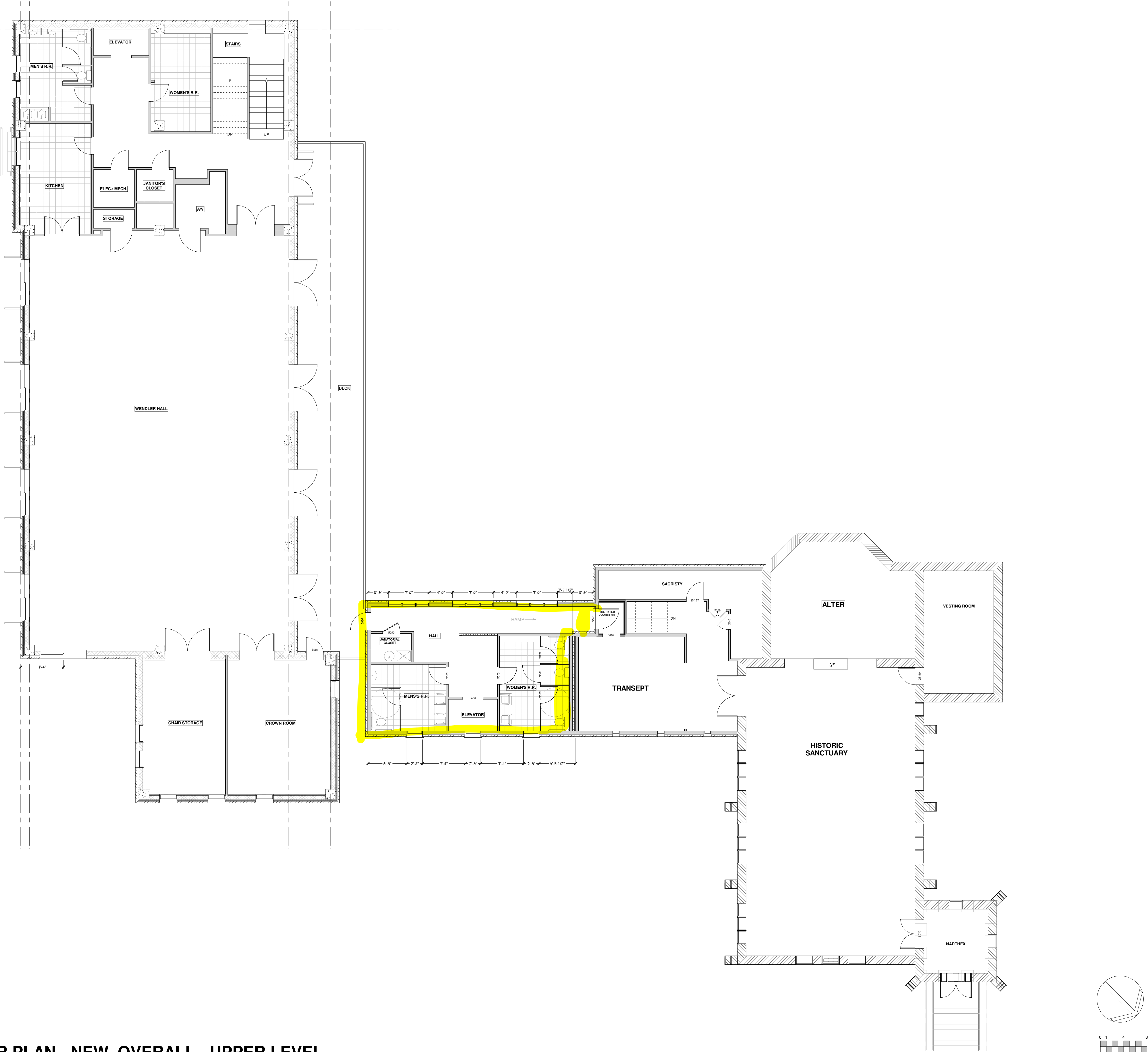
A.200





**1 ENLARGED "BRIDGE CONNECTOR" PLAN - LOWER FLOOR**  
SCALE: 1/4" = 1'-0"





1 FLOOR PLAN - NEW, OVERALL - UPPER LEVEL  
SCALE: 1/8" = 1'-0"

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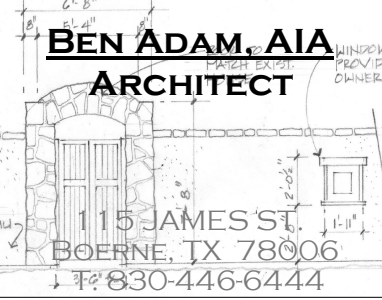
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WALL DIMENSIONS ARE TO EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE. "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN SAME PLANE. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSION AND ORIENTATION ON PLANS/ELEVATIONS.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60. PERIMETER OF DOOR SHALL BE WEATHERSTRIPPED.

CONTRACTOR SHALL COORDINATE WITH THE TENANT THE SCHEDULE FOR TELEPHONE AND NETWORK COMPANY INSTALLATION.

WORK AREAS SHALL REMAIN SECURE AND LOCABLE DURING CONSTRUCTION. GC SHALL COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY. THE CONTRACTOR SHALL MAINTAIN FOR THE DURATION FO THE WORK ALL EXITS AND EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL CODES AND ORDINANCES.



EXPIRES 8.31.2024

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Benedict M. Adam  
Texas Reg. No. 13094

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ST. HELENA'S EPISCOPAL  
CHURCH & SCHOOL  
410 N. MAIN STREET  
BOERNE, TX 78006  
KENDALL COUNTY

CIVIL ENGINEER  
GODSEY ENGINEERING  
WAYNE GODSEY, P.E.  
MEP ENGINEER  
COMPANY  
NAME  
STRUCTURAL ENGINEER  
COMPANY  
NAME

REVISIONS  
DATE ISSUE

02.16.2024 HLC PRELIM PLANS

DATE PRINTED: 2/16/2024

PROJECT NO.: 22-187

DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

SHEET NAME  
FLOOR PLAN  
NEW  
UPPER LEVEL

SHEET

A.202



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DATE ISSUE  
02.16.2024 HLC PRELIM PLANS

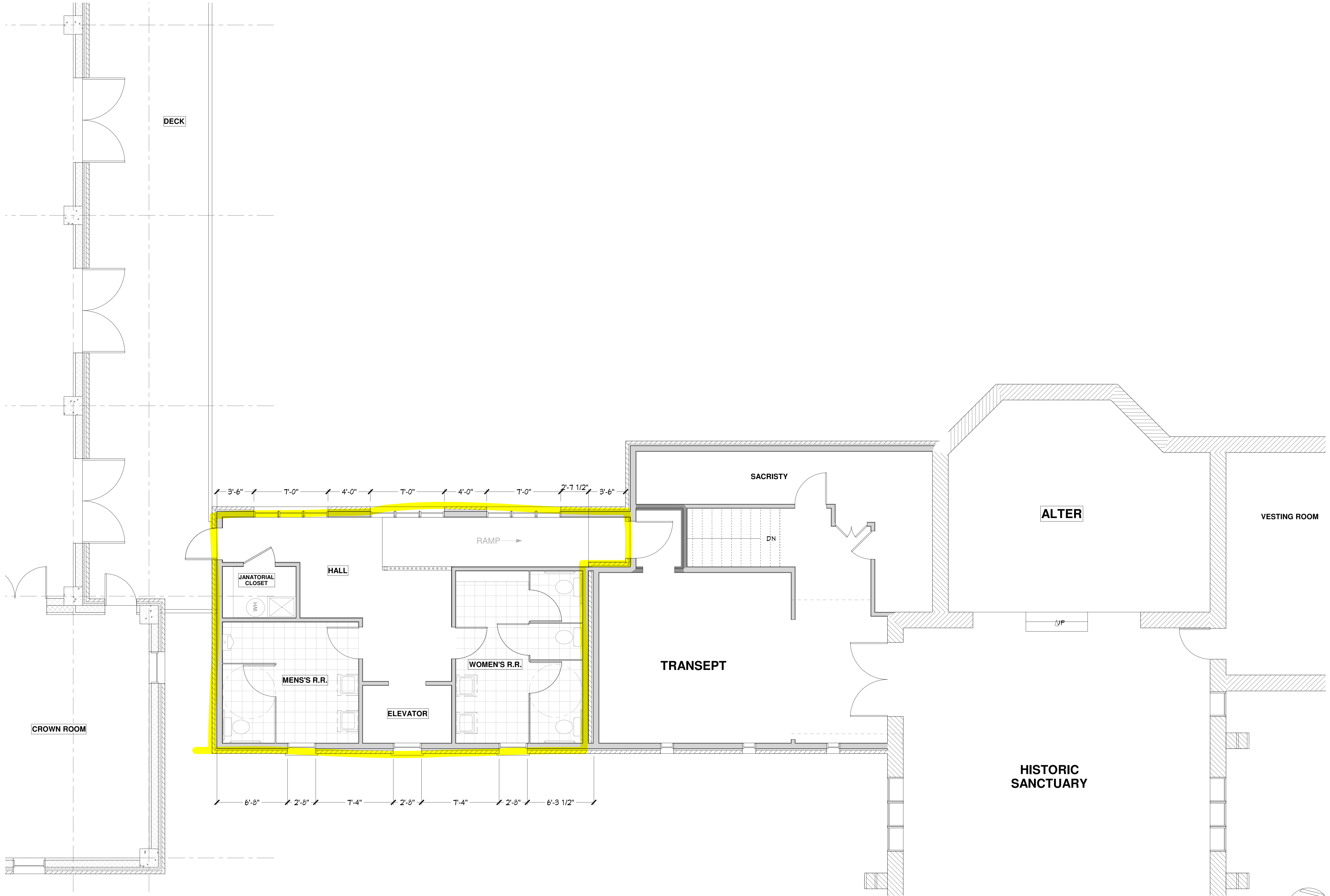
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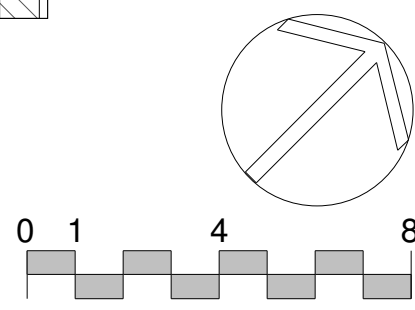
DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

**SHEET NAME**  
**FLOOR PLAN**  
**ENLARGED**  
**UPPER LEVEL**

**SHEET**  
**A.203**



**1 NEW BRIDGE PLAN - UPPER FLOOR**  
SCALE: 1/4" = 1'-0"





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MEP ENGINEER  
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NAME

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02.16.2024 HLC PRELIM PLANS

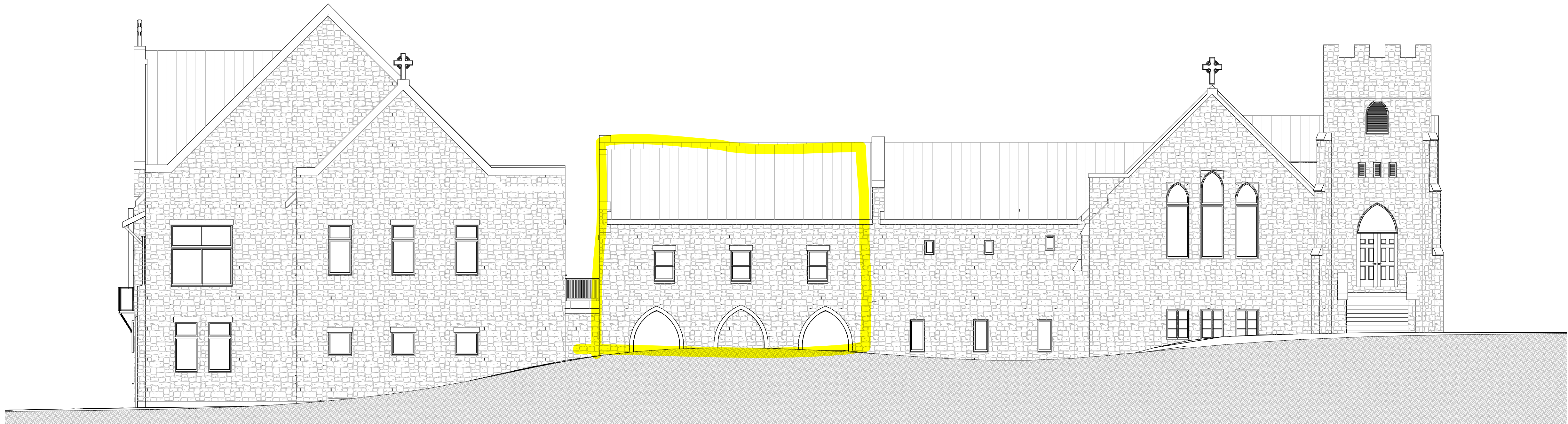
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PROJECT NO.: 22-187

DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

SHEET NAME  
EXTERIOR  
ELEVATIONS  
NEW

SHEET  
A.300



1 NEW ELEVATION - MAIN ST. VIEW  
SCALE: 1/8" = 1'-0"



2 NEW ELEVATION - JOHN'S RD. VIEW  
SCALE: 1/8" = 1'-0"



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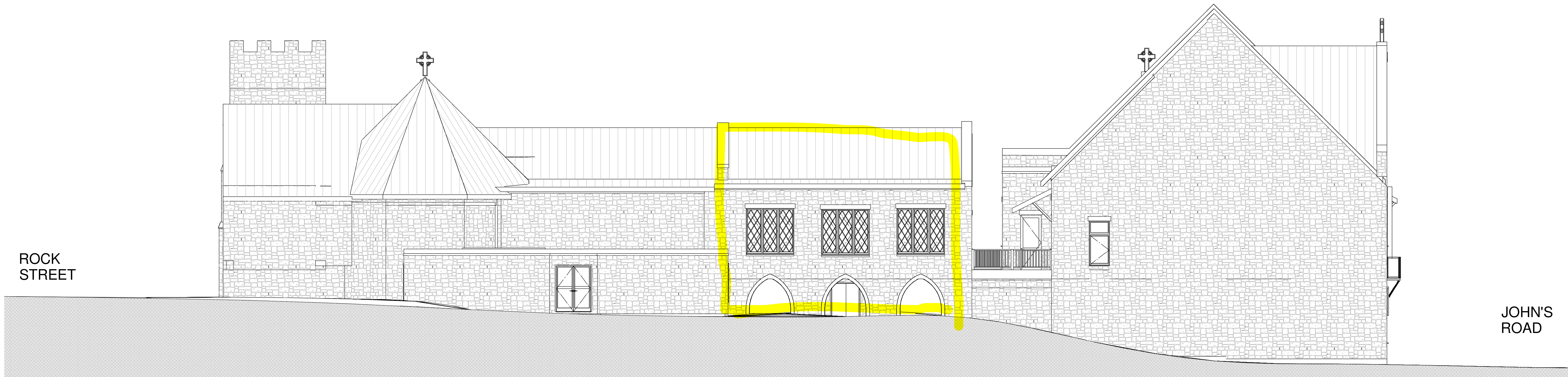
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DRAWN BY: PKK, MTM,  
BCH, MCM  
CHECKED: BMA

SHEET NAME  
EXTERIOR  
ELEVATIONS  
NEW

SHEET

A.301



1 NEW ELEVATION - VIEW OF PATIO (WEST SIDE)

SCALE: 1/8" = 1'-0"



2 NEW ELEVATION - ROCK ST. VIEW (NORTH SIDE)

SCALE: 1/8" = 1'-0"