

DUNAWAY RESIDENCE

101 VILLAGE COVE,
BOERNE TX, 78006

SHEET LIST	
SHEET NUMBER	SHEET NAME
ARCH	
A0.00	COVER SHEET
D2.00	DEMOLITION PLAN
A1.00	SITE PLAN
A1.01	FOUNDATION PLAN
A2.00	FLOOR PLAN - FIRST FLOOR
A2.01	FLOOR PLAN - SECOND FLOOR
A3.00	ROOF PLAN
A4.00	CEILING PLAN
A5.00	EXTERIOR ELEVATIONS
A8.00	DETAILS
A9.00	DOOR & WINDOW SCHEDULE
A10.00	INTERIOR ELEVATIONS
E2.00	ELEC. PLAN - FIRST FLOOR
E2.01	ELEC. PLAN - SECOND FLOOR

DUNAWAY RESIDENCE

RENOVATION & ADDITION



OWNER:
THOM AND SHAWNA
DUNAWAY

UNDER ROOF AREA TABULATIONS:

	S.F.	%
ETR	4,798 S.F.	68%
NEW	2,304 S.F.	32%
TOTAL	7,102 S.F.	100%

IMPERVIOUS COVER TABULATIONS:

	S.F.	%
IMPERVIOUS	8,869 S.F.	50%
OTHER	8,864.57 S.F.	50%
TOTAL	17,733.57 S.F.	100%

GENERAL PROJECT NOTES:

1. THE CONTRACTOR SHALL REVIEW THIS SET OF CONSTRUCTION DOCUMENTS AND REPORT ANY DISCREPANCIES AND/OR INCONSISTENCIES BETWEEN THE ARCHITECTURAL DRAWING AND EACH OF THE OTHER DISCIPLINES DRAWINGS. THE CONTRACTOR SHALL RECEIVE WRITTEN CONFIRMATION AND NEW DESIGN DIRECTION FROM THE APPROPRIATE DISCIPLINES PRIOR TO COMMENCING WORK.
2. THESE DRAWING ARE DIAGRAMMATIC AND REPRESENT THE ARCHITECTS DESIGN INTENT. IF DIMENSIONS ARE IN QUESTION AND/OR MISSING, DO NOT SCALE THE DRAWINGS. REQUEST CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING WORK.
3. REFER TO STRUCTURAL FOR SHEAR WALL CONSTRUCTION AND LOCATIONS. STRUCTURAL REQUIREMENTS SHALL TAKE PRECEDENCE AT ALL SHEAR WALL LOCATIONS. SHOULD MODIFICATIONS BE REQUIRED, COORDINATE WITH ARCHITECT PRIOR TO MAKING ANY CHANGES.
4. ALL GYPSUM BOARD TO BE TYPE "X" 5/8" FOR CEILINGS AND 1/2" FOR WALLS, U.N.O.
 - a. ALL WALLBOARD IN SHOWERS TO BE CEMENT BOARD.
 - b. ALL WALLBOARD SCHEDULED TO RECEIVE TILE FINISH SHALL BE GREENBOARD, U.N.O.
 - c. ALL WET AREAS, (I.E. RESTROOMS, KITCHEN, LAUNDRY, ETC. TO HAVE MIN. 1'-0" HIGH OF CEMENT BOARD AT BASE.
 - d. ALL WALLS SCHEDULED/NOTED TO RECEIVE STONE VENEER SHALL HAVE PLYWOOD SHEATHING.
5. ALL EXTERIOR STUD WALLS TO HAVE BATT INSULATION PER LOCAL ENERGY CODES, OR PROJECT ENERGY 'REPORT' REQUIREMENTS.
6. PROVIDE HORIZONTAL STIFFENERS AT ALL WALLS AND PORTIONS OF WALLS WHICH ARE NOT GYPSUM BOARD SHEATHED ON BOTH SIDES PROVIDING BACKING PLATES AT ALL STUDS SUPPORTING EQUIPMENT AND FIXTURES SHOWN ON THE PLANS AND INTERIOR ELEVATIONS. SUCH SHELVING, CASEWORK, LIGHT FIXTURES, PLUMBING, ETC.
7. ALL WOOD TO BE PRESSURE TREATED WHERE IN CONTACT WITH EARTH, WITHIN 6" OF EARTH, OR WHERE OTHERWISE EXPOSED TO MOISTURE OR EMBEDDED IN CONCRETE OR MASONRY. ALL SILL PLATES TO BE PRESSURE TREATED.
8. INSTALL ALL PERIMETER WALL SILL PLATES ON FIBROUS SILL SEALER.
9. REVIEW ELECTRICAL PLANS PRIOR TO FRAMING AND POURING OF SLAB & VERIFY LOCATIONS OF ELECTRICAL & MECHANICAL FIXTURES WITH OWNER.

AREA TABULATIONS (NEW CONSTRUCTION):

NEW CONDITIONED LIVING AREA (OVER FRAMING):	848 S.F.
GARAGE & STORAGE	1,354 S.F.
COVERED PORCH	84 S.F.
SIDEWALK	53 S.F.
DRIVEWAY	642 S.F.
TOTAL	2,981 S.F.

AREA TABULATIONS (ETR):

EXISTING CONDITIONED LIVING AREA (OVER FRAMING)	3,896 S.F.
GARAGE & STORAGE	770 S.F.
COVERED PORCH	117 S.F.
SIDEWALK	107 S.F.
DRIVEWAY	2,460 S.F.
TOTAL	7,350 S.F.

No.	Description	Date
1	PERMIT SET	02.23.2024

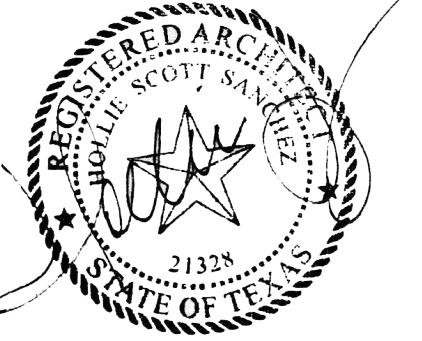
DUNAWAY
COVER
SHEET

Project Number	2023 - 137
Date	02.23.2024
Drawn By	LV
Checked By	HS

A0.00



STUDIO S. ARCHITECTS
HOLLIE SANCHEZ, LEED AP, NCARB
101 S. MAIN ST.
SUITE C
BOERNE, TX 78006



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BOERNE TX, 78006

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DUNAWAY SITE PLAN

Project Number	2023 - 137
Date	02.23.2024
Drawn By	LV
Checked By	HS

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NEW CONC. DRIVEWAY

EXISTING CONC. DRIVEWAY

EXISTING SIDEWALK

COMPOSITION ROOF SHINGLES

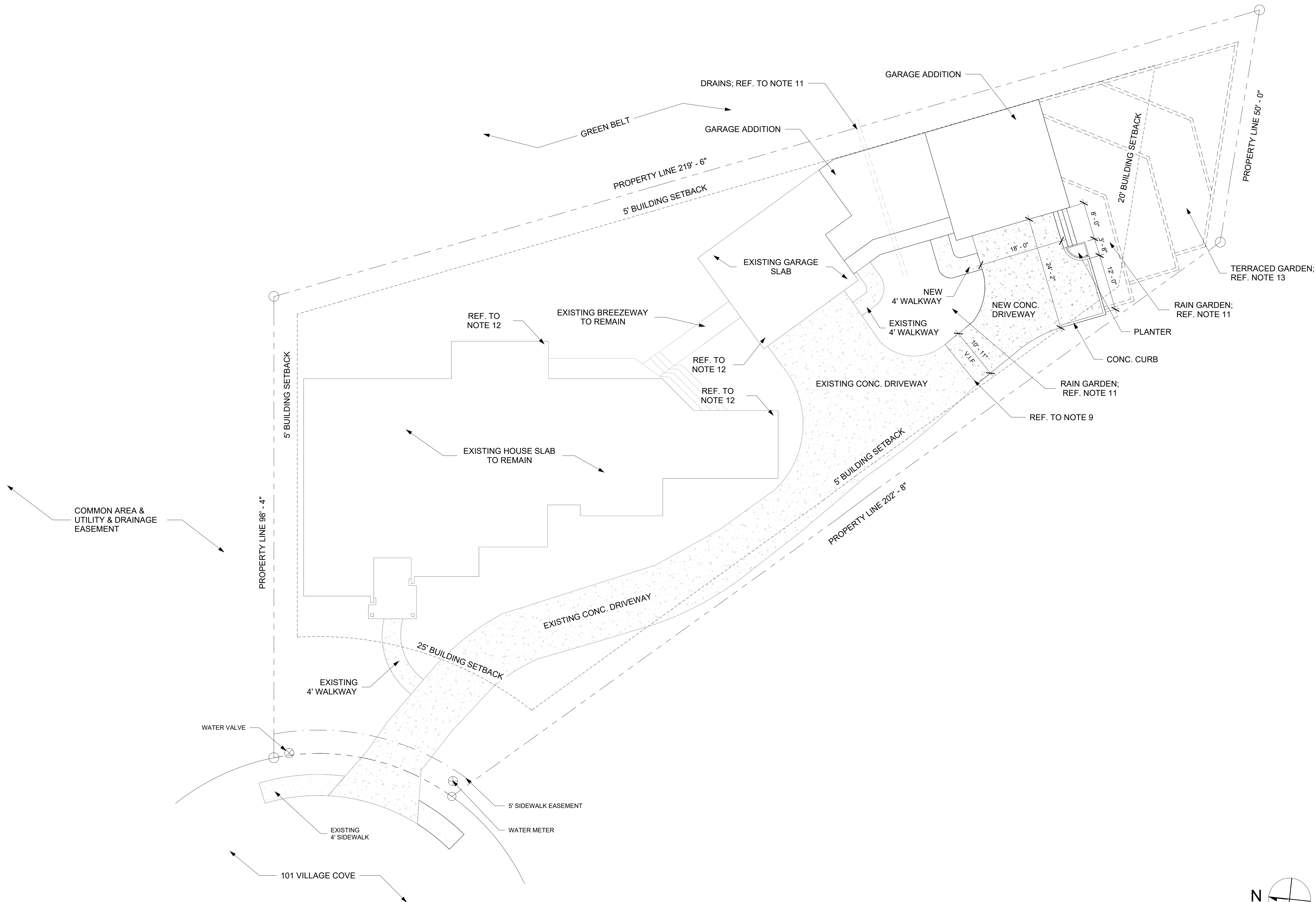
RAILROAD TIES

PROPERTY LINE

BUILDING SETBACK

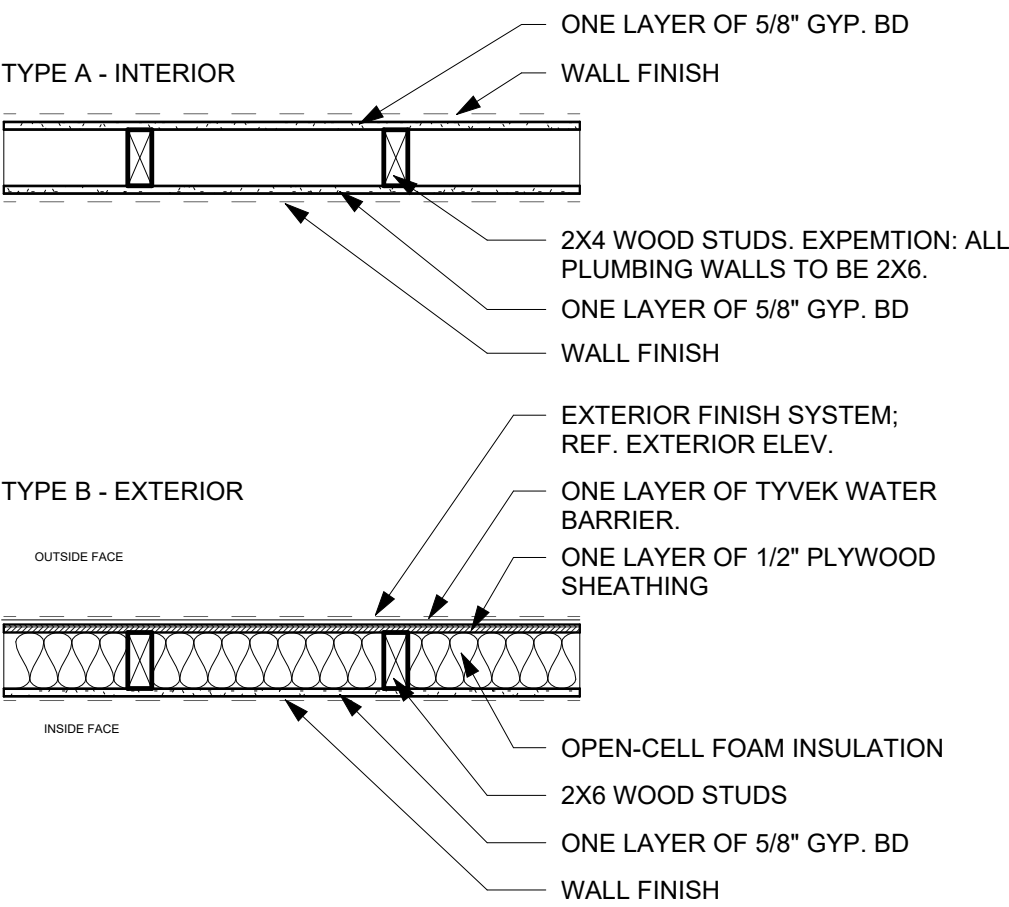
EASEMENT

1. ARCHITECTURAL DRAWINGS ARE BASED ON SURVEY INFORMATION AND FIELD NOTES PREPARED BY OTHERS. THE CONTRACTOR'S REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION AND IS NOT RESPONSIBLE FOR ERRORS THEREIN OR CORRECTIONS REQUIRED AS A RESULT.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY SURVEYS FROM OWNER AND SHALL VERIFY EXISTING/PROPOSED TOPOGRAPHY AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
3. REFER TO FLOOR PLANS FOR DETAILED BUILDING INFORMATION. SHOULD DISCREPANCIES EXIST, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
4. BUILDING LOCATION AND ALL SITE GRADING DESIGN BY OTHERS.
5. SITE AND STORM DRAINAGE DESIGN BY OTHERS.
6. SITE UTILITY DESIGN BY OTHERS. STUB OUT BUILDING UTILITIES FROM EXISTING BUILDING FACE FOR CONNECTION WITH SITE UTILITIES. COORDINATE SITE UTILITIES WITH PLUMBING AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION.
7. PROTECT ALL EXISTING TREES AND VEGETATION UNLESS SPECIFICALLY INDICATED TO BE REMOVED. COORDINATE LANDSCAPE REQUIREMENTS WITH LANDSCAPE DRAWINGS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND APPROPRIATE AGENCIES FOR PERMITS, APPROVALS (CONTRACT, TEST) AND TEMPORARY SERVICES DURING CONSTRUCTION.
9. SLOPE ALL GRADES AHEAD FROM BUILDING AT 1/2" PER FOOT (MIN.) ON LANDSCAPED AREAS AND 1/8" PER FOOT (MIN.) AT UNLANDSCAPED (PAVED) AREAS FOR A DISTANCE OF 5'-0" (MIN.) UNTO.
10. CONTRACTOR TO V.I.F. NEW DRIVE PLACEMENT AND DESIGN PAVING AS REQUIRED.
11. CONTRACTOR TO PROVIDE DRAINAGE SLEEVE UNDER SLAB.
12. CONTRACTOR TO ALLOW FOR DRAINAGE AND REMOVING POLLUTANTS.
13. CONTRACTOR TO INSTALL RAIN GARDEN TO CAPTURE RUNOFF.
14. CONTRACTOR TO COORDINATE LANDSCAPE WITH OWNER.
15. CONTRACTOR TO INSTALL REDIRECTING DOWNSPOUTS.
16. CONTRACTOR TO COORDINATE LANDSCAPE WITH OWNER.
17. CONTRACTOR TO COORDINATE TERRACED GARDEN FINAL DESIGN WITH OWNER.

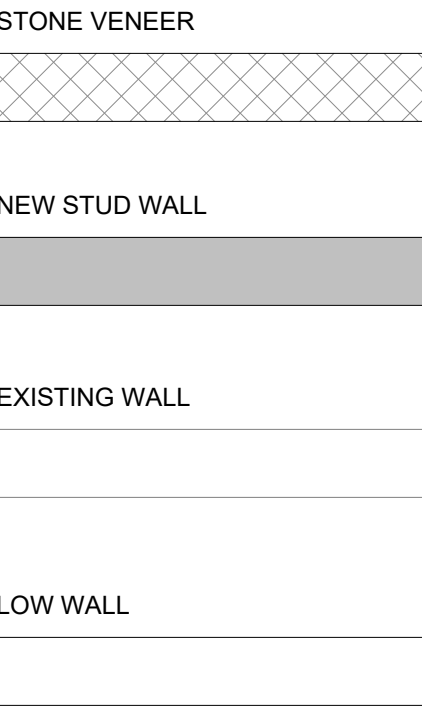


1 SITE PLAN
1" = 10'-0"

WALL TYPES:

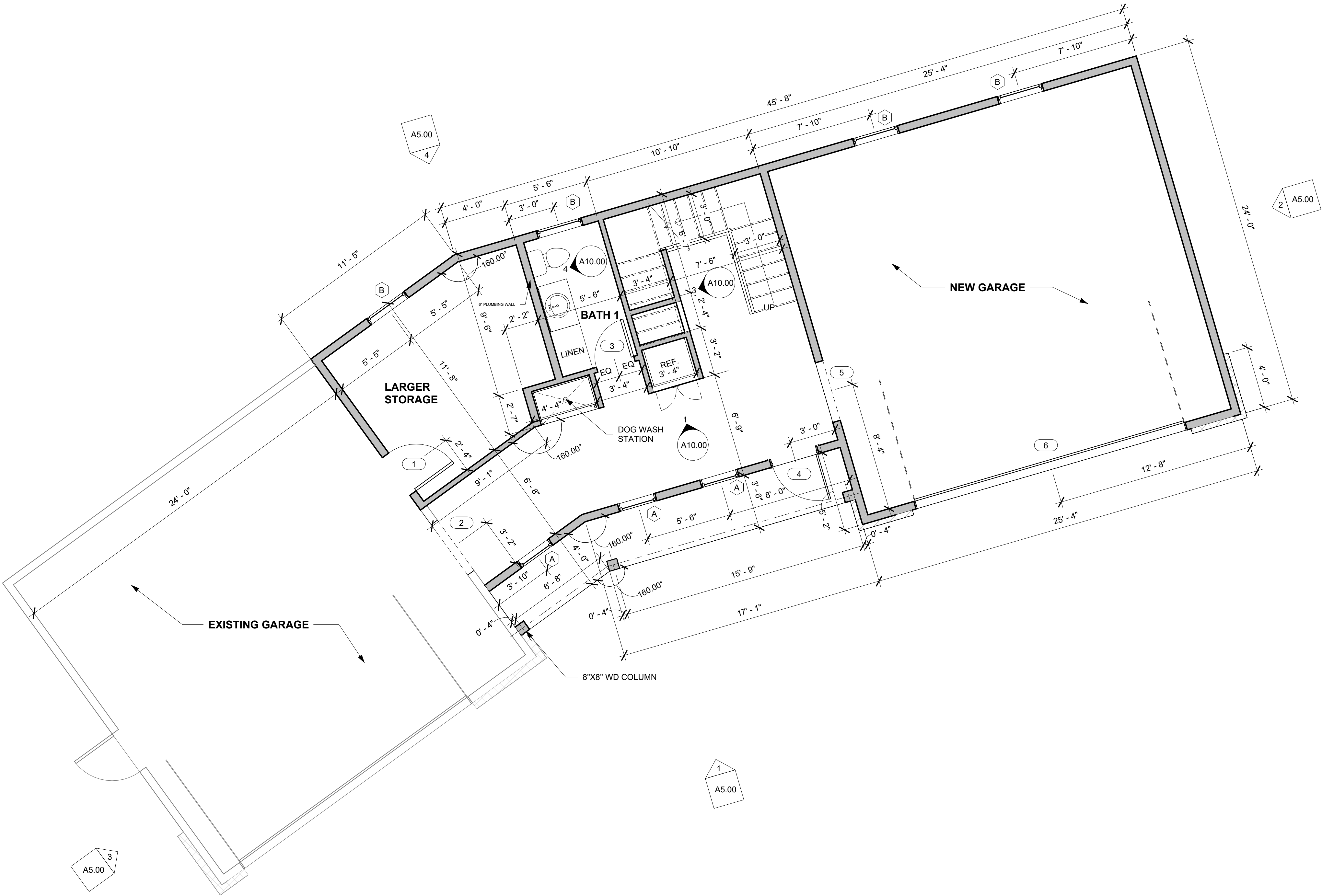


PLAN LEGEND:



PLAN NOTES:

- DIMENSIONS SHOWN ARE FROM FACE OF STRUCTURAL STRATA, U.N.O.
- ALL WINDOW/DOOR DIMENSIONS IN CONVENTIONAL WOOD FRAMING ARE TO CENTER OF WINDOW/DOOR UNLESS NOTED OTHERWISE.
- DOOR FRAMES TO BE LOCATED 6" FROM CORNER OF WALL UNLESS NOTED OTHERWISE.
- WHERE PLYWOOD IS ADDED FOR SHEAR ON PARTIAL WALL, REMAINDER OF WALL SHALL HAVE SIMILAR SHEATHING TO PROVIDE FLUSH WALL SURFACE. RE: STRUCT FOR SHEAR WALL LOCATIONS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO CONFIRM & COORDINATE ALL PLUMBING, EQUIPMENT, & ACCESSORIES SIZES FOR CLEARANCE.
- NEW EXTERIOR AND INTERIOR DOORS TO MATCH EXISTING DOORS; CONFIRM WITH OWNER AND/OR ARCHITECT.
- ALL NEW FINISHES TO BE THE SAME GRADE, COLOR, MATERIAL, ETC AS EXISTING FINISHES, U.N.O. COORDINATE WITH OWNER AND/OR ARCHITECT IF NECESSARY.
- CONFIRM ALL FINAL DOOR SELECTION, LOCATION AND SIZE WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO INSTALL TILE ON ALL INSIDE SHOWER WALLS & CEILINGS.
- SCHLUTTER COMPANY PRE-SLOPES AND SHOWER BASE TO BE INSTALLED ON ALL SHOWERS. CONTRACTOR TO COORDINATE WITH CLIENT AND MANUFACTURER ON SINGLE SLOPE OR MULTIPLE SLOPE SELECTION.



1 FLOOR PLAN - FIRST FLOOR
1/4" = 1'-0"



Studio S
ARCHITEKTS
STUDIO S. ARCHITEKTS
HOLLIE SANCHEZ, LEED AP, NCARB
101 S. MAIN ST.
SUITE C
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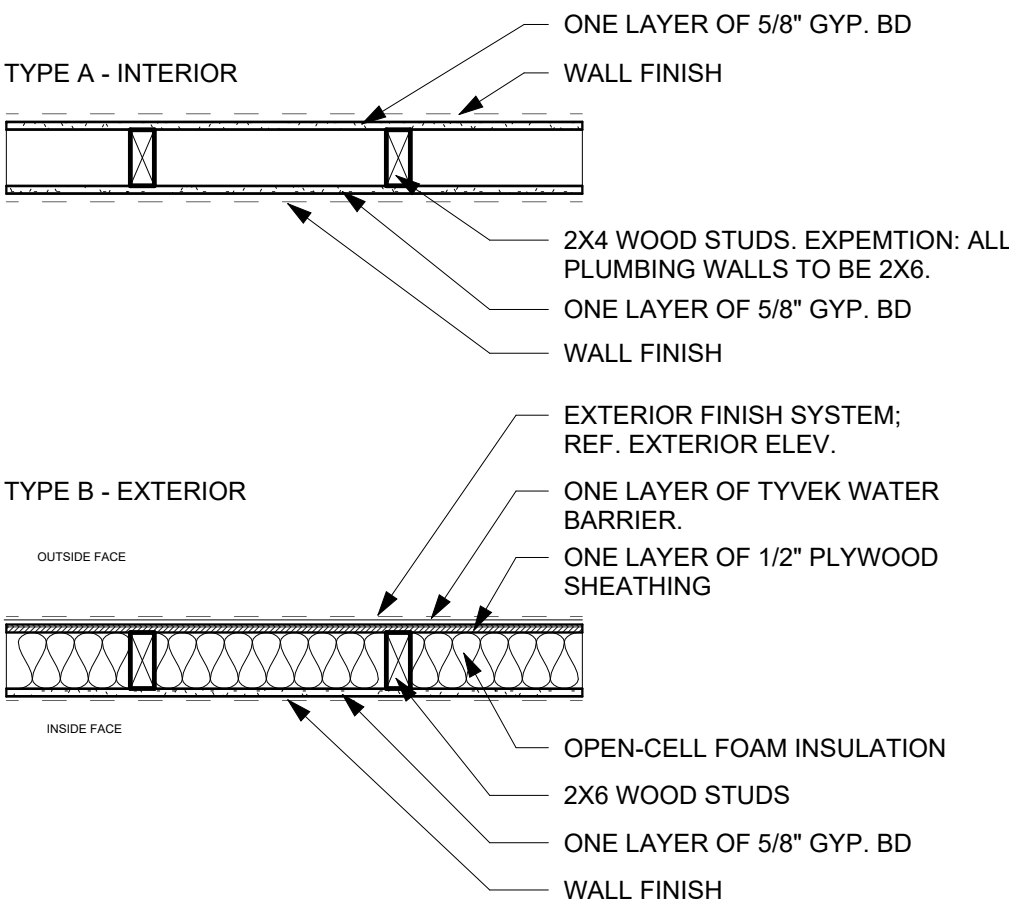
No.	Description	Date
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DUNAWAY
FLOOR PLAN
- FIRST
FLOOR

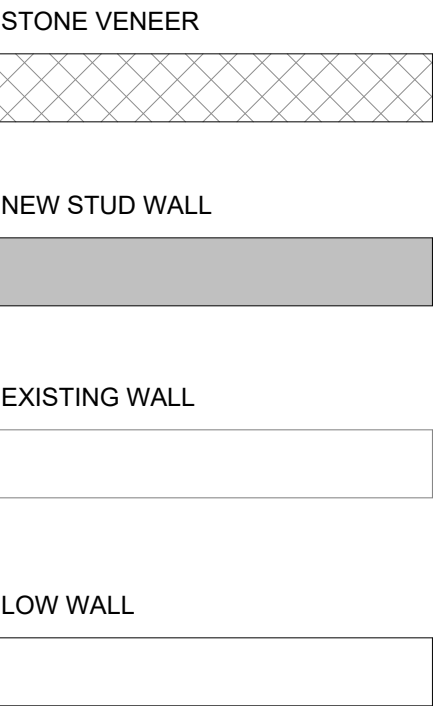
Project Number	2023 - 137
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WALL TYPES:

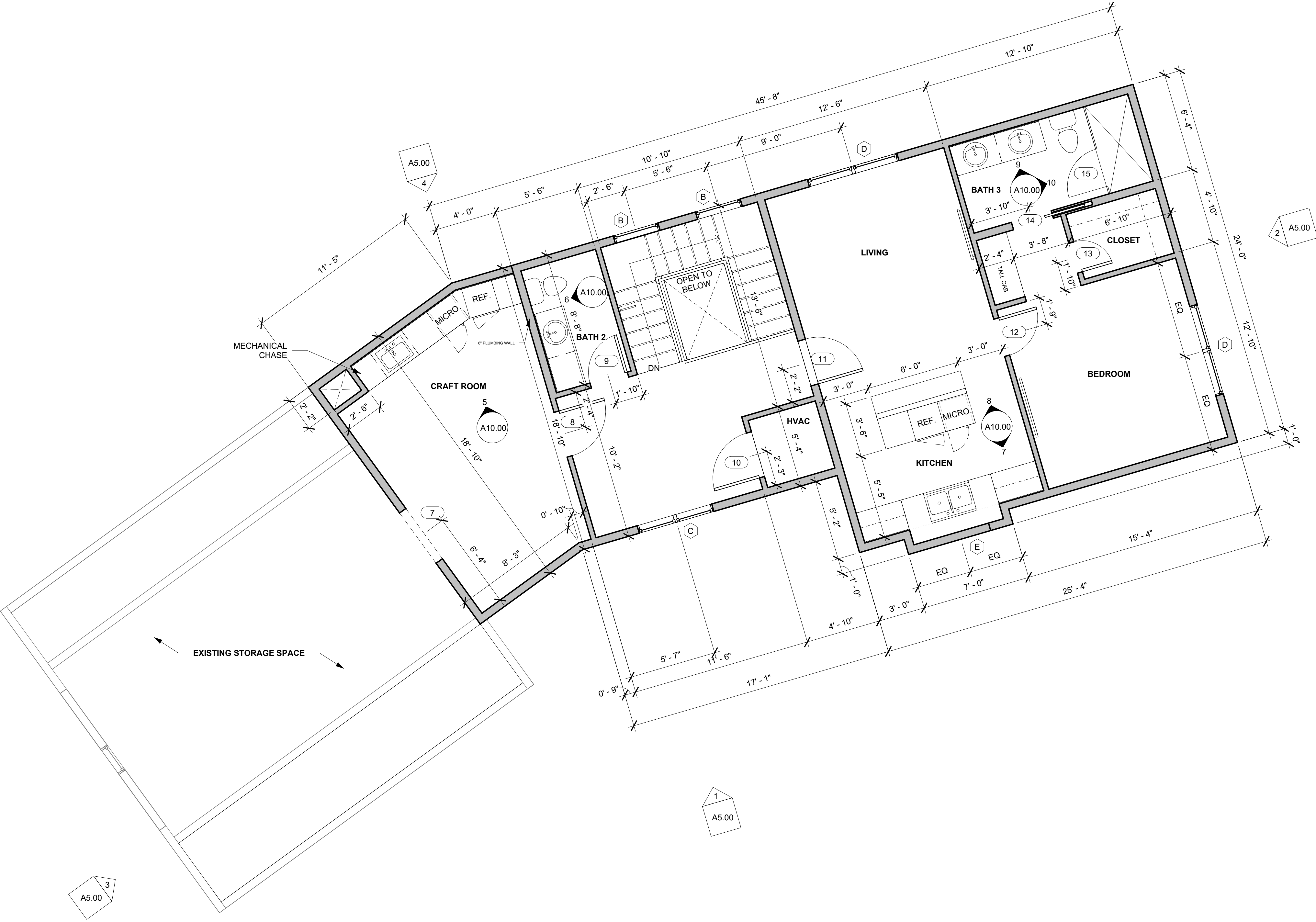


PLAN LEGEND:



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5. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. CONTRACTOR TO CONFIRM & COORDINATE ALL PLUMBING, EQUIPMENT, & ACCESSORIES SIZES FOR CLEARANCE.
7. NEW EXTERIOR AND INTERIOR DOORS TO MATCH EXISTING DOORS. CONFIRM WITH OWNER AND/OR ARCHITECT.
8. ALL NEW FINISHES TO BE THE SAME GRADE, COLOR, MATERIAL, ETC AS EXISTING FINISHES, U.N.O. COORDINATE WITH OWNER AND/OR ARCHITECT IF NECESSARY.
9. CONFIRM ALL FINAL DOOR SELECTION, LOCATION AND SIZE WITH ARCHITECT PRIOR TO INSTALLATION.
10. CONTRACTOR TO INSTALL TILE ON ALL INSIDE SHOWER WALLS & CEILINGS.
11. SCHLUTTER COMPANY PRE-SLOPES AND SHOWER BASE TO BE INSTALLED ON ALL SHOWERS. CONTRACTOR TO COORDINATE WITH CLIENT AND MANUFACTURER ON SINGLE SLOPE OR MULTIPLE SLOPE SELECTION.



1 FLOOR PLAN - SECOND FLOOR
1/4" = 1'-0"



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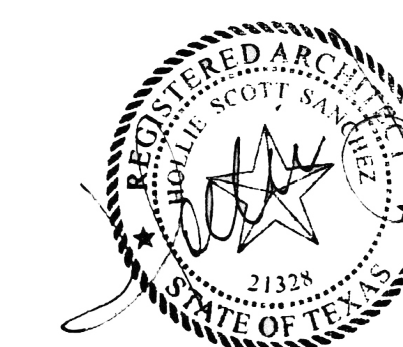


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DUNAWAY FLOOR PLAN - SECOND FLOOR	
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DUNAWAY EXTERIOR ELEVATIONS

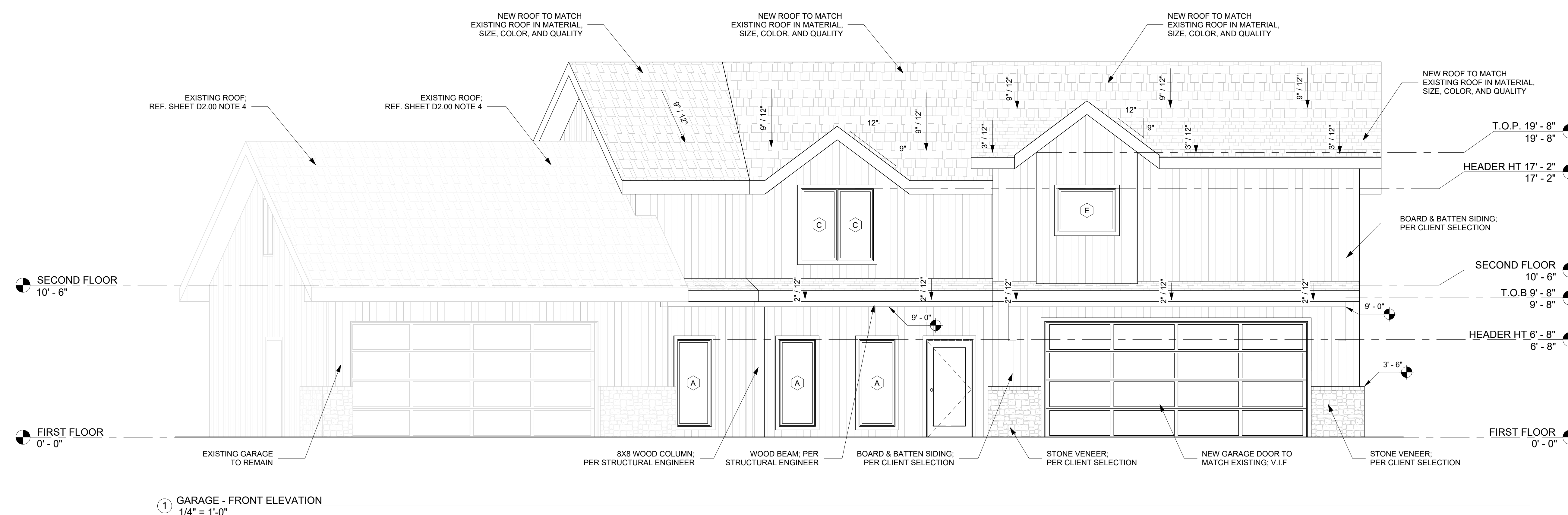
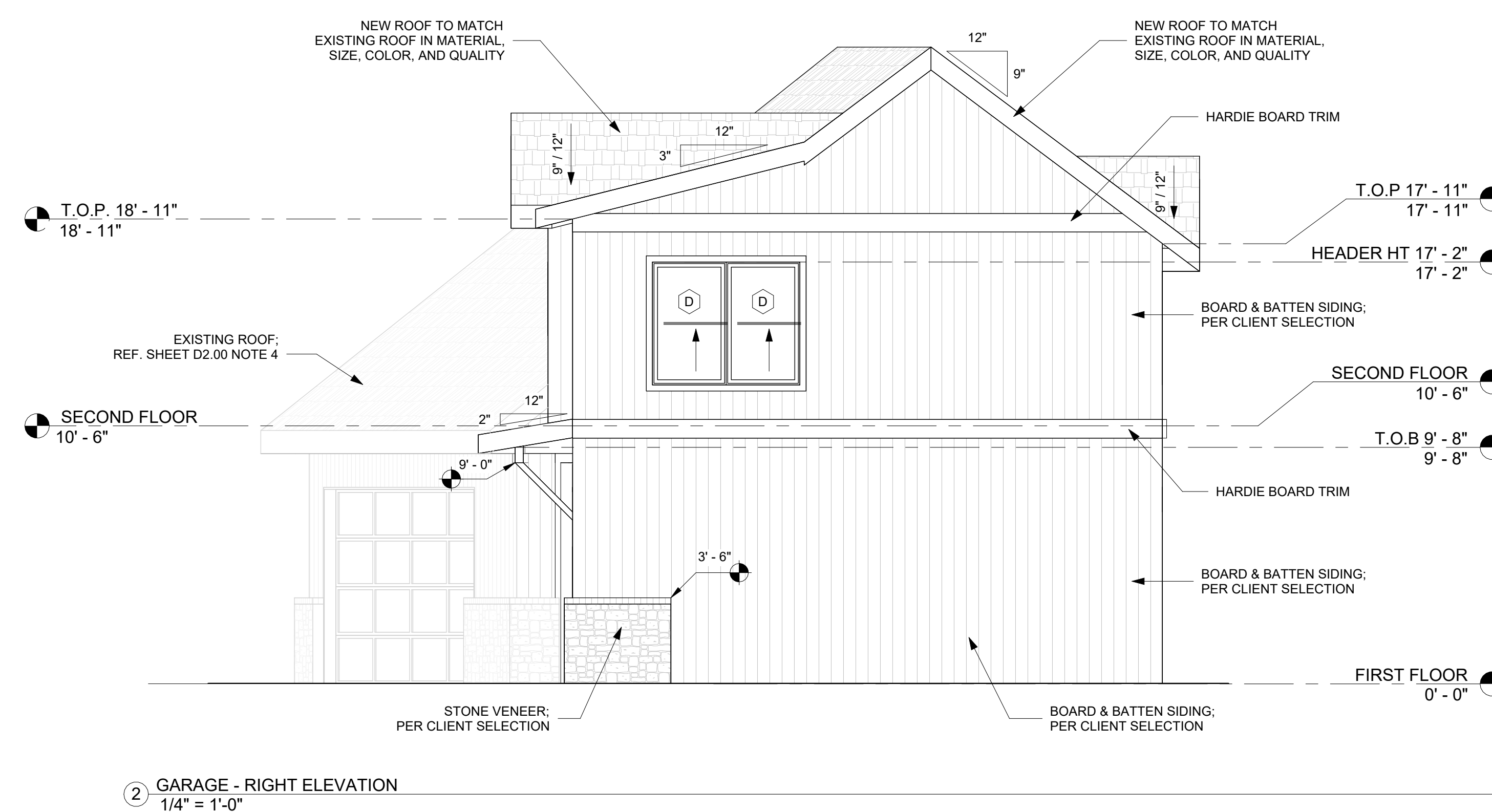
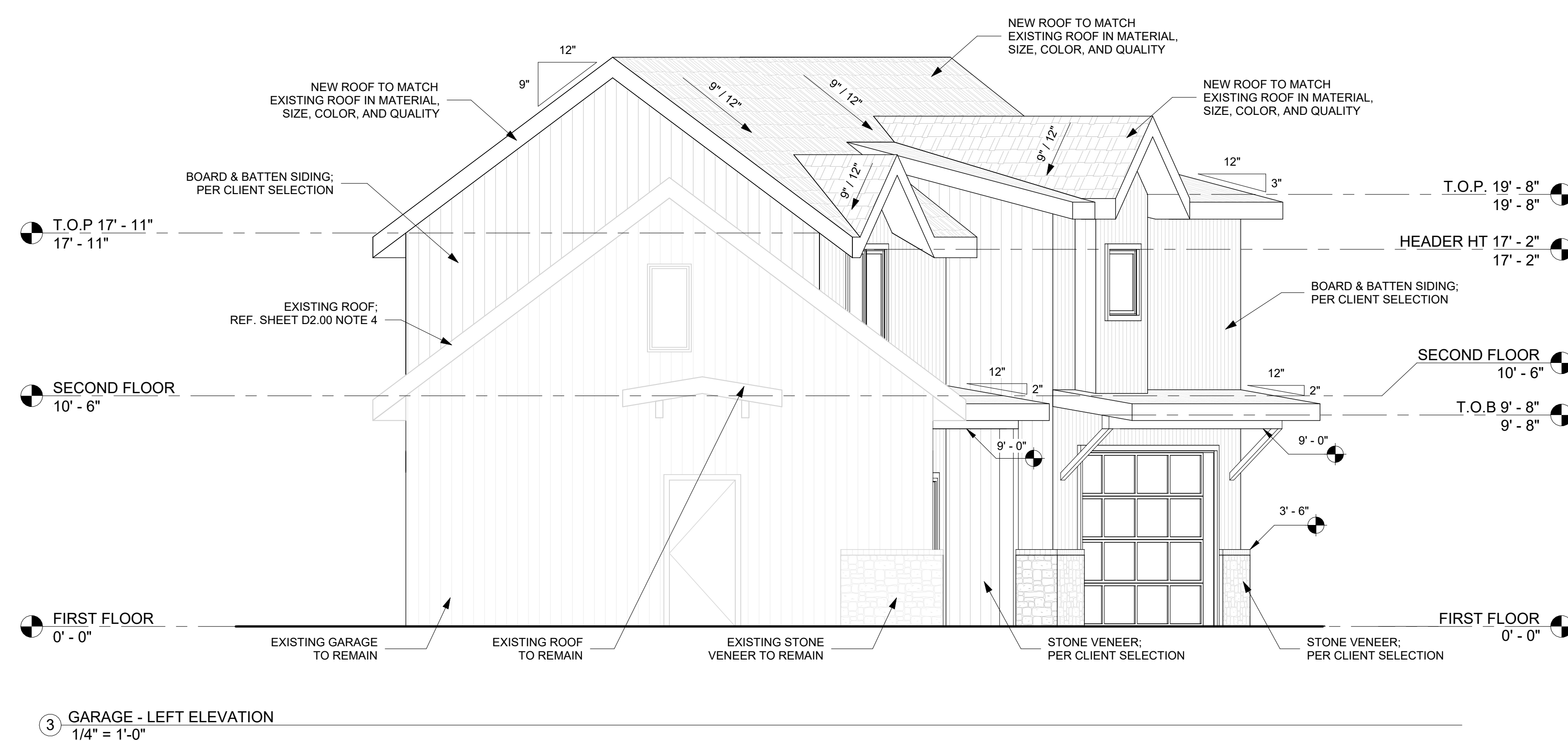
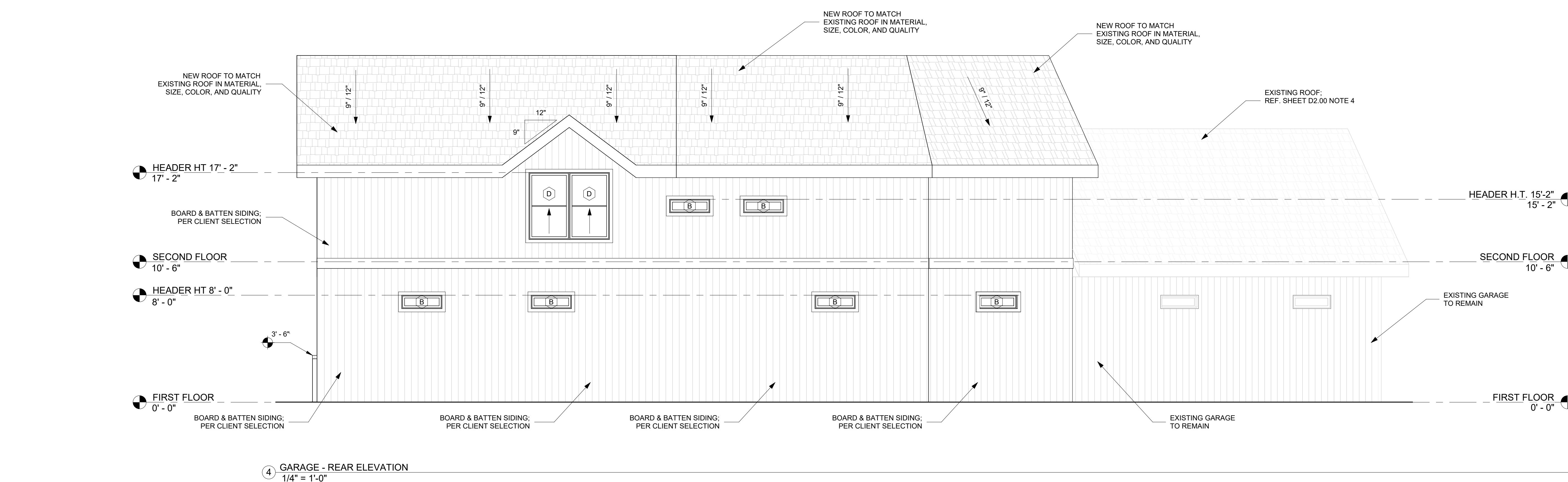
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EXTERIOR ELEVATIONS:

1. BUILDING ELEVATIONS SHOWN ARE TO HELP CLARIFY OVERALL DESIGN INTENT. REFER TO FLOOR PLAN, AND SUPPORTING DRAWINGS FOR SPECIFIC DESIGN INFORMATION NOT EXPRESSLY DEFINED HEREIN.
2. EXTERIOR FINISH MATERIALS AND TREATMENTS ARE NOT NOTED IN ALL LOCATIONS, WHERE A MATERIAL, SURFACE, OR SYSTEM IS DEFINED THE BALANCE SHALL BE CONSIDERED AS REPETITION.
3. GRADE LINES INDICATED ON ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL DRAWINGS FOR FINISH GRADE CONTOURS.
4. COORDINATE LANDSCAPING TO SCREEN EXPOSED FOUNDATION.
5. CONTRACTOR TO CONFIRM ALL BEDROOM WINDOWS MEET EGRESS CODE; NOTIFY OWNER IF OUT OF CODE.
6. CONTRACTOR TO COORDINATE GUTTER SYSTEM AND DOWNSPOUT DESIGN WITH GUTTER MANUFACTURER.
7. CONTRACTOR TO VERIFY EXTERIOR STONE SIZE, COORDINATE STONE DEPTH WITH STONE LEDGE @ FOUNDATION.
8. CONTRACTOR TO CONFIRM EXISTING ROOF SLOPES, NEW ROOF SLOPES TO MATCH. COORDINATE WITH OWNER AND/OR ARCHITECT.
9. MATCH EXISTING WINDOW HEADER HEIGHTS PER FLOOR





February 24, 2024

Thom and Shawna Dunaway

101 Village Cove

Boerne, TX

Mr. & Mrs. Dunaway,

Hill Country Scapes & Design, LLC (HCSD) is pleased to implement your upcoming project at 101 Village Cove, Boerne, TX 78006. Hill Country Scapes and Design will be following the requirements for low impact developments as outlined by the City of Boerne.

Through this plan HCSD will manage stormwater runoff to mitigating any pollutants and erosion that could occur without the below measures.

For this project, HCSD will install a terraced landscape feature and a rain garden. The terraced feature will have a downspout that is routed into it from the newly installed garage structure. The terrace and the rain garden features will be filled with fabric contractor grade weed barrier, ground cover and river rock. These materials will allow for any stormwater runoff to be filtered through the materials which will then help eliminate the possibility for pollution to infiltrate the natural vegetation surrounding the property.

Additionally, HCSD will reroute the existing downspouts on the home at 101 Village Cove and redirect these through the newly landscaped features. This will allow the stormwater runoff to be dispersed in a manner that slows the flow of the water, filters out any contaminates and eliminates erosion to the existing drainage areas surrounding the property.

Respectfully,

Jeremiah Bowman, Owner

Hill Country Scapes & Design