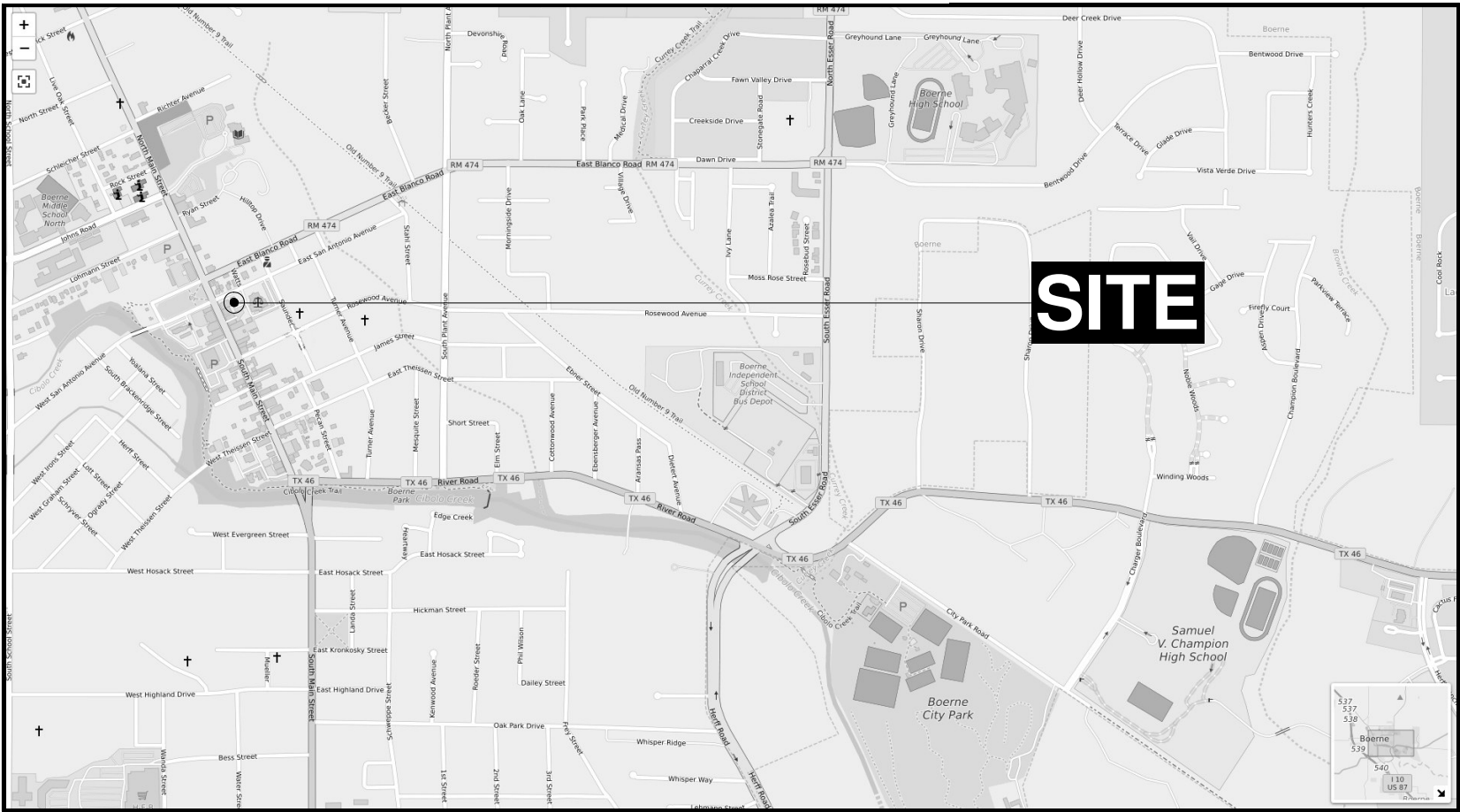


PROJECT DESCRIPTION
REMODEL OF AN EXISTING ONE STORY WOOD FRAME RETAIL BUILDING.
WORK IS FOR INTERIOR ONLY. NO SITE WORK

RECEIVED
3/26/2025
PLANNING

PROJECT LOCATION MAP



PROJECT LOCATION

ADDRESS 101 S. MAIN STREET
OWNER GRANITE LEGACY LLC
CITY BOERNE, TX 78006
MAILING PO BOX 1011
BOERNE, TX 78006
LEGAL BOERNE ORIGINAL TOWN LOT 81 & PT 82 & PT 84
ACRES 0.176 acres
7,667.0 sq. ft.

PROP.ID 19906
GEO ID 1-5065-0081-0640
MAP ID EM2-UJ

CITY & ZONING INFORMATION

CITY BUILDING OFFICIAL STEVE RIGGS
BUILDING INSPECTOR SEAN SKAGGS
BUILDING INSPECTOR ERIC ADAMS
CODE COMPLIANCE OFFICER BETTY KWASNESKI
PERMIT TECH KRYSTAL BROWN

DIR. OF PUBLIC WORKS MIKE MANN, P.E.
DIR. OF PLANNING & COMM. DEV. NATHAN CRANE
DIR. OF DEVELOPMENT SERVICES JEFF CARROL, P.E.
CITY FIRE MARSHAL ROBERT LEE

COUNTY ENGINEER MARY ELLEN SCHULLE, P.E., CFM
201 E. SAN ANTONIO AVE., #100
BOERNE, TEXAS 78006
830-331-8252
JEFF FINCKE
830-249-3721

COUNTY FIRE MARSHAL
CURRENT ZONE C3
ENTRY CORRIDOR YES
HISTORICAL DISTRICT YES
HOA / ARCH. REVIEW YES

BUILDING CODES

2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL EXISTING BUILDING CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
2023 NATIONAL ELECTRIC CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2012 TAS /ADA ARCHITECTURAL BARRIERS

BUILDING IS NOT REQUIRED TO BE FULLY SPRINKLERED

AREA SUMMARY

CONDITIONED AREAS
OVERALL BUILDING 5018 SF
SUITE A X SF
SUITE B X SF
SUITE C 774 SF

UNCONDITIONED AREAS
PORCH 701 SF
PARKING 4000 SF

CONSTRUCTION COSTS

Electrical work - \$15,000.00
Plumbing work - \$9500.00
AC work (labor only) - \$1200.00 (New AC units were previously bought by owner, not sure exactly when that occurred, but have been warehoused by him since the purchase)
Tile flooring, sheetrock, paint, cooler room frame out, insulation, finish out - \$9000.00
New concrete at entry and side door - \$3000.00
New glass doors at new entry - \$3500.00
TOTAL - \$41,200.00

OWNER

MASON MAIZ
MAINZ MEAT MARKET
101 S. MAIN STREET, SUITE C
BOERNE, TX 78006

MOB: 830-428-6737
email: mainzmeatmarket@gmail.com

SURVEY

ARCHITECT DOES NOT HAVE ANY RESPONSIBILITY FOR THE COORDINATION OR WORK OF ANY SURVEYORS USED ON THE DESIGN OR CONSTRUCTION OF THIS PROJECT. OWNER AND/OR GC TO ENGAGE LICENSED SURVEYOR FOR THE FORM SURVEY, LOCATION OF SETBACKS & EASEMENTS, AND PROPERTY LINE LOCATIONS AS APPROPRIATE. THE SUPERVISION OF SAID SURVEYOR IS NOT INCLUDED IN THE ARCHITECTURAL SERVICES RENDERED.

CONTRACTOR

MATT KELLER
MK CONTRACTING
332 REMINGTON
BOERNE, TEXAS 78006

MOB: 210-889-7905
email: matrk78@yahoo.com

LANDSCAPE

ARCHITECT DOES NOT HAVE ANY RESPONSIBILITY FOR THE COORDINATION OR WORK OF ANY LANDSCAPE USED ON THE DESIGN OR CONSTRUCTION OF THIS PROJECT. OWNER AND/OR GC TO ENGAGE LICENSED LANDSCAPE ARCHITECT FOR THE DESIGN OF ANY DESIRED WORK INCLUDING, BUT NOT LIMITED TO PLANTINGS, TURFS, HARDSCAPES AND IRRIGATION DESIGN.

ARCHITECT

BEN ADAM, AIA
BEN ADAM ARCHITECT, LLC
115 JAMES ST.
BOERNE, TX 78006

TEL: 830-446-6444
badam@gvtc.com

ENGINEERING

ARCHITECT DOES NOT HAVE ANY RESPONSIBILITY FOR THE COORDINATION OR WORK OF ANY ENGINEERS USED ON THE DESIGN OR CONSTRUCTION OF THIS PROJECT. OWNER AND/OR GC TO ENGAGE LICENSED ENGINEER FOR THE ENGINEERING DESIGN OF ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING AND OTHER SYSTEMS AS APPROPRIATE. THE SUPERVISION OF SAID ENGINEERING IS NOT INCLUDED IN THE ARCHITECTURAL SERVICES RENDERED.

TENANT FINISH-OUT FOR
MAINZ MEAT MARKET

101 S. MAIN STREET, SUITE C
BOERNE, TX 78006
KENDALL COUNTY

ADA / TAS

THIS PROJECT IS UNDER \$50,000 CONSTRUCTION COST, AND IS NOT REQUIRED TO HAVE AN TABS PROJECT NUMBER FROM THE TDLR. CONSTRUCTION COSTS FROM GENERAL CONTRACTOR LISTED BELOW.



3/26/2025
REVISED PLAN
SET FOR HLC
REVIEW & COB
PERMIT

OCCUPANCY CHECKLIST

BUILDING TYPE NEW, TYPE V-B
SPRINKLER NONE
TYPE OF HAZARDS NONE KNOWN
OCCUPANCY CLASSIFICATION B
SPECIAL OCC. REQUIREMENTS NONE

TOTAL BUILDING FLOOR AREA 5018 SF
SUITE A (Connected to B & C)
SUITE B (Connected to A internal)
SUITE C (Connected to A internal) 774 GSF

OCCUPANCY LOAD
USE1 BUSINESS (RETAIL)
LOAD FACTOR 100 SF/OCC
AREA 774 GSF
TOTAL OCCUPANCY LOAD 8 (LESS <49)

EXITS REQUIRED 1 (MAIN)
EXITS PROVIDED 2
ELEC. ROOM EXITS REQD 0
ELEC. ROOM EXITS PROVIDED N/A
MAX. COMMON PATH EGRESS DIST 100 FT

CLIMATIC & GEO.
DESIGN CRITERIA

GROUND SNOW LOAD NONE
BASIC WIND SPEED 115 MPH
SPECIAL REQMTS NONE
SEISMIC ZONE A (0-17%)
MEAN ELEVATION 1500 FT
WEATHERING NEGLIGIBLE
FROST LINE 0 IN.
TERMITE MODERATE-HEAVY
DECAY NEGLIGIBLE
AVERAGE HUMIDITY 61-75%
WINTER DESIGN TEMP 32°F
ICE SHEILD REQUIRED NO
FLOOD HAZARD ZONE X
MEAN ANNUAL TEMP 66.4 DEGREES
AVG. RAINFALL 31.4 IN/YR
RADON ZONE 3,
LOW POTENTIAL (<2pCi/L)
CLIMATE ZONE (IECC) 3A (WARM-HUMID)
CLIMATE ZONE for RES-Check 2A (COB)
ENERGY RATING INDEX 59 (2015 IRC)

INDEX TO DRAWINGS

ARCHITECTURAL
G.100 COVER SHEET
G.101 GENERAL NOTES
SITE PLAN
G.102 TAS/ ADA STANDARDS
A.100 FLOOR PLAN- EXISTING/ DEMO
A.101 FLOOR PLAN- PROPOSED (NEW)
A.200 EXTERIOR ELEVATIONS & 3D
A.400 INTERIOR ELEVATIONS & 3D
A.500 WALL TYPES, DOOR NOTES & SCHEDULE

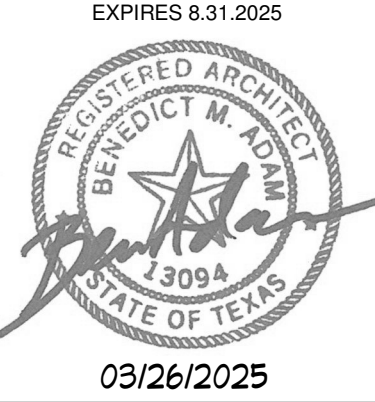
ENGINEERING
CIVIL NONE
FOUNDATION NONE

MECHANICAL
M.100 MECHANICAL FLOOR PLAN

ELECTRICAL
E.100 ELECTRICAL POWER PLAN
ELECTRICAL LIGHTING PLAN

PLUMBING
P.100 PLUMBING WATER SUPPLY PLAN
P.101 PLUMBING VENT & SEWER PLAN

FIRE PROTECTION
FIRE ALARM NONE
NONE



NOTICE
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MAINZ MEAT MARKET for
MASON MAIZ

CIVIL ENGINEER
NONE
MEP ENGINEER
NONE
STRUCTURAL ENGINEER
NONE

REVISIONS
DATE ISSUE
12.02.2024 PRELIMINARY PLAN
01.16.2025 ADD SURVEY/ SITE
02.25.2025 REV/C.O.B. MTG
02.26.2025 REV. for HLC
03.26.2025 REV. for COB

DATE PRINTED: 3/26/2025
PROJECT NO. 24-185

DRAWN BY: PKK, BMA

SHEET NAME
COVER
SHEET

SHEET
G.100

TYPICAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	WOOD FINISH		CONCRETE IN CROSS SECTION		BRICK OR CONCRETE BLOCK ELEVATION
	PLYWOOD CROSS SECTION		CROSS HATCHING (MASONRY OR BRICK IN CROSS SECTION)		STEEL SECTION IN CROSS SECTION
	FIRE BRICK CROSS SECTION		STUCCO ELEVATION OR CONCRETE PAVING		CER. TILE ELEVATION OR PLAN VIEW
	ROLL OR BATT INSULATION		EARTH (SOIL) IN CROSS SECTION		STRUCTURAL WOOD MEMBER SECTION CONTINUOUS
	RIGID INSULATION		GRAVEL IN CROSS SECTION		STRUCTURAL WOOD MEMBER SECTION BAY BLOCKING

ABBREVIATIONS

ABV	ABOVE	DWR	DRAWER	MAS	MASONRY
A.F.F.	ABOVE FINISH FLOOR	DWG	DRAWING	MO	MAXIMUM
ACC	ACCESS	D.F.	DRINKING FOUNTAIN	MECH	MECHANICA
A.P.	ACCESS PANEL	DF	DOUGLAS FIR	MC	MEDICINE CABINET
A/C	AIR CONDITIONING	DW	DISH WASHER	NAT	NATURAL
ALT	ALTERNATE	EA	EACH	NG	NAT GRADE
ANC	ANCHOR / ANCHORAGE	E	EAST	N	NORTH
A.B.	ANCHOR BOLT	ELEC	ELECTRIC	NIC	NOT IN CONTRACT
ANOD	ANODIZED	EWG	ELEC. WATER COOLER	NIS	NOT TO SCALE
A.D.	AREA DRAIN	EL	ELEVATION	O.D.	OUTSIDE DIAMETER
AUTO	AUTOMATIC	ENC	ENCLOSURE	OPP	OPPOSITE
BSMT	BASEMENT	EQ	EQUA	PN	PANE
BRG	BEARING	EXST	EXISTING	PMT	PAVEMENT
BPL	BEARING PLATE	E.B.	EXPANSION BOLT	PE	PEDESTAL
BM	BEAM	EJC	EXPANSION JOINT	PERF	PERFORATE
BJT	BED JOINT	EXP	EXPOSED	PLYWD	PLYWOOD
BEL	BELOW	EXT	EXTERIOR	PCF	POUNDS/CU. FT.
BLKG	BLOCKING	FOC	FACE OF CONCRETE	R or RAD	RADIUS
BD	BOARD	FOM	FACE OF MASONRY	RWD	REDWOOD
BS	BOTH SIDES	FOS	FACE OF STUD	REF	REFERENCE
BW	BOTH WAYS	FIN	FINISH	REF	REFRIGERATOR
BOT	BOTTOM	FLG	FLASHING	REINQ	REINFORCE
BRZ	BRONZE	FLR	FLOOR	REQ	REQUIRED
BLDG	BUILDING	F.F.	FINISH FLOOR LINE	RET	RETURN AIR
B.U.	BUILT UP	FP	FIRE PROOF	RA	RIGHT OF WAY
CAB	CABINET	FLB	FLOOR BELOW	RS	RE-SAWN OR ROUGH SAWN
CAD	CADDIUM	FLCO	FLOOR CLEAN OUT	RB	RUBBER BASE
CPT	CARPET	F.D.	FLOOR DRAIN	SECT	SECTION
C.I.	CAST IRON	F.J.	FLOOR JOIST	SHGT	SHEATHING
C.B.	CATCH BASIN	FLUR	FLUORESCENT	SH	SHEET
CLB	CEILING	FT	FOOT OR FEET	SHL	SHELVING / SHELF
C.D.	CEILING DIFFUSER	FTG	FOOTING	TOS	TOP OF CONC. (OR CURB)
C.J.	CEILING JOIST	GA	GAUGE	TOS	TOP OF SLAB
CER	CERAMIC	GALV	GALVANIZED	TOW	TOP OF WALL
C.T.	CERAMIC TILE	GL	GLASS OR GLAZING		
CHAM	CHAMFER	G.L.B.	GLUE LAMINATED BEAM		
CLR	CLEARANCE	GLD	GRADE		
COMB	COMBINATION	GYP	GYPNUM		
CONC	CONCRETE	HDP	HARDWARE		
CMU	CONCRETE MASONRY UNIT	HDR	HEADER		
CONN	CONNECTION	HTG	HEATING		
CONT	CONTINUOUS	HVAC	HEATING, VENTILATING & AIR CONDITIONING		
CU	CUPPER	HT	HEIGHT		
CORR	CORRUGATED	HC	HOLLOW CORE		
CFT	CUBIC FEET	HM	HOLLOW METAL		
CFM	CUBIC FEET PER MINUTE	HORIZ	HORIZONTAL		
CYD	CUBIC YARD	HB	HOSE BIB		
DEM	DEMOLISH	I.D.	INSIDE DIAMETER		
DTL	DETAIL	INSUL	INSULATION		
DIAG	DIAGONAL	INT	INTERIOR		
DIA	DIAMETER	INV	INVERT		
DIM	DIMENSION	JST	JOIST		
DISP	DISPOSAL	LBL	LABEL		
DIV	DIVISION	LAM	LAMINATE		
DR	DOOR	LT	LIGHT		
DBL	DOUBLE	LL	LIVE LOAD		
DH	DOUBLE HUNG	LVR	LOUVER		
DS	DOWNSPOUT				
D	DRAIN				

OFF-STREET PARKING NOTES

MINIMUM DESIGN STANDARDS FOR OFF-STREET PARKING. IN ADDITION TO SUCH OTHER STANDARDS AS MAY BE ADOPTED FROM TIME TO TIME BY THE CITY, THE DESIGN OF OFF-STREET PARKING FACILITIES MUST COMPLY WITH THE FOLLOWING MINIMUM STANDARDS:

PARKING STALL DIMENSIONS: PARKING STALLS MUST BE NOT LESS THAN NINETEEN FEET (19.0') DEEP, MEASURED ALONG THE SHORTEST STRIPE MARK FOR THE STALL, FOR ALL STALLS EXCEPT PARALLEL PARKING STALLS. TWENTY-THREE FEET (23.0') IN LENGTH FOR PARALLEL PARKING STALLS, INCLUSIVE OF ANY AREAS ON EITHER END OF THE STALL MARKED AS A PROHIBITED PARKING AREA; PROVIDED, HOWEVER, THE SPACE WHERE PARKING IS PERMITTED IS NOT LESS THAN NINETEEN FEET (19.0') LONG, NINE FEET (9.0') WIDE, REGARDLESS OF THE STALL ANGLE, MEASURED FROM THE CENTER LINES OF THE SIDE STRIPE MARKINGS FOR THE STALL.

AISLE DIMENSIONS: THE DIMENSIONS OF THE AISLES WITHIN A PARKING LOT LOCATED BETWEEN ROWS OF PARKING SPACES OR BETWEEN A ROW OF SPACES AND A CURB OR THE EDGE OF PAVEMENT SHALL BE AS FOLLOWS FOR THE VARIOUS TYPES OF PARKING SPACES DESCRIBED:

IF THE ANGLE OF THE PARKING STALLS IS LESS THAN OR EQUAL TO 45° IN RELATION TO THE HEAD-IN LINE OF THE ROW, THE AISLE SHALL BE: NOT LESS THAN THIRTEEN FEET (13.0') WIDE, IF THE AISLE IS FOR ONE WAY TRAFFIC; NOT LESS THAN TWENTY-FOUR FEET (24.0') WIDE, IF THE AISLE IS FOR TWO WAY TRAFFIC;

IF THE ANGLE OF THE PARKING STALLS IS GREATER THAN 45°, BUT LESS THAN OR EQUAL TO 60° IN RELATION TO THE HEAD-IN LINE OF THE ROW, THE AISLE SHALL BE: NOT LESS THAN SIXTEEN FEET (16.0') WIDE, IF THE AISLE IS FOR ONE WAY TRAFFIC; NOT LESS THAN TWENTY-FOUR FEET (24.0') WIDE, IF THE AISLE IS FOR TWO WAY TRAFFIC

PAVING REQUIRED: ALL REQUIRED PARKING AND LOADING AREAS SHALL BE SURFACED WITH MATERIALS SUFFICIENT TO PREVENT MUD, DUST, LOOSE MATERIAL AND OTHER NUISANCES FROM BEING REMOVED FROM THE PROPERTY AND TRACKED ONTO THE PUBLIC RIGHTS-OF-WAY BY VEHICLES TRAVELING FROM THE PARKING OR LOADING AREAS.

MARKINGS: PARKING STALLS MUST AT ALL TIMES BE CLEARLY MARKED BY PAINT, BUTTONS OR OTHER METHODS APPROVED BY THE CITY BUILDING OFFICIAL.

WHEEL BLOCKS: ALL PARKING STALLS WHICH ARE ADJACENT TO PUBLIC RIGHT-OF-WAY MUST BE CONSTRUCTED WITH WHEEL BLOCKS OR OTHER SUITABLE DEVICES INSTALLED IN A MANNER AND AT A DISTANCE FROM THE RIGHT-OF-WAY LINE WHICH PREVENTS ANY PART OF A PARKED VEHICLE FROM EXTENDING INTO THE PUBLIC RIGHT-OF-WAY.



GENERAL NOTES

THESE NOTES ARE GENERAL IN NATURE AND ARE INTENDED TO SET A MINIMUM STANDARD FOR CONSTRUCTION. WHERE THERE IS A CONFLICT IN DRAWINGS, SPECIFICATIONS AND THESE NOTES, THE MORE STRINGENT SHALL GOVERN.

CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS AND/OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DIMENSIONS TAKE PRECEDENCE OVER SCALE. IN ADDITION EACH SHALL FAMILIARIZE THEMSELVES WITH LOCAL STANDARDS AND REQUIREMENTS, THESE CONSTRUCTION DOCUMENTS, AND THE CONSTRUCTION SITE.

CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ALL FEDERAL, STATE (IRC 2006) COUNTY AND LOCAL CODES AND AMENDMENTS.

ALL WORK AND CONSTRUCTION METHODS SHALL COMPLY WITH REQUIREMENTS OF LOCAL OSHA RULES AND REGULATIONS.

CONTRACTOR SHALL DETERMINE, COORDINATE, AND ACCOMMODATE ALL UTILITY SERVICE REQUIREMENTS (ELECTRICAL, GAS, TELEPHONE, WATER, SEWER, ETC.) FOR THE FACILITY PRIOR TO CONSTRUCTION OR REMODELING OF THIS BUILDING AND/OR SITE.

PRIOR TO COMMENCEMENT OF A ANY CONSTRUCTION THE CONTRACTOR SHALL CALL 1-800-DIG-TEES (1-800-348-8377) AND SHALL VERIFY EXISTENCE AND LOCATION OF ALL ABOVE AND BELOW GROUND UTILITIES. ANY DISCREPANCIES IN ASSUMED UTILITY LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN A MANNER WHICH PROVIDES PROTECTION OF PEDESTRIANS, AN SHALL COMPLY WITH LOCAL AUTHORITY REQUIREMENTS.

CONTRACTOR SHALL REPLACE AND/OR REPAIR ALL STRUCTURES, FINISHES, EQUIPMENT, PIPING, CONDUIT, WIRES, ETC. WHICH ARE DAMAGED OR ARE TO BE RELOCATED AND/OR ALTERED TO MAKE WAY FOR NEW CONSTRUCTION.

ALL METHODS AND WORK SCHEDULES MUST BE APPROVED BY THE OWNER AND SHALL BE ARRANGED TO FACILITATE MINIMAL INTERFERENCE WITH CUSTOMER CONVENIENCE AND OPERATION OF THE EXISTING FACILITY AND/OR ADJOINING PROPERTIES/BUSINESSES.

AT THE END OF EACH DAILY WORK PERIOD, THE CONTRACTOR SHALL SECURE, PROTECT, BARRICADE AND BROOM CLEAN THE WORK AREA AND LEAVE UNUSED MATERIALS STACKED OR STORED NEATLY. UPON COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS, EQUIPMENT, ETC. GENERATED BY OR NECESSARY FOR CONSTRUCTION AND LEAVE THE PREMISES BROOM CLEAN. ALL DEBRIS SHALL BE REMOVED TO AN APPROVED DUMP SITE.

ALL DEMOLITION, NEW CONSTRUCTION, MODIFICATIONS, ELECTRICAL REQUIREMENTS AND CONNECTIONS, EQUIPMENT AND INSTALLATIONS SHALL BE COMPLETE WITH ALL NECESSARY APPURTENANCES AND OPERATING INSTRUCTIONS, READY FOR USE, AND SATISFACTORY TO THE OWNER.

NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEEDS THE QUANTITIES LISTED IN ENFORCEABLE CODES.

ALL REFUSE IS TO BE PROPERLY DISPOSED OF AT SANITARY LANDFILL. CONTACT GOVERNING AUTHORITY FOR DUMPSTER AND DUMPING INFORMATION.

CONSTRUCTION SHALL COMPLY WITH ALL COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AGAINST THE PROPERTY.

SYMBOLS FOR APPLIANCES, PLUMBING, AND OTHER FIXTURES INDICATE SIZE AND POSITION ONLY. REFER TO SELECTIONS AND/OR SPECS FOR ACTUAL CUTOUTS AND COORDINATION ISSUES.

CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW ROUGH OPENING DIMENSIONS WITH DOOR/WINDOW MANUFACTURER.

WHERE WORK OR EQUIPMENT IS INDICATED "NOT IN CONTRACT" SUCH WORK SHALL BE PROVIDED BY OTHERS.

CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC AND DO NOT INTEND TO SHOW ALL DETAILS AND OR CONDITIONS OF CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR CONFLICTS WHICH MAY OCCUR BECAUSE OF THE ARCHITECT'S EXCLUSION FROM PARTICIPATION IN THE ACTUAL DAY TO DAY CONSTRUCTION OF THE PROJECT.

THE FOLLOWING RULES APPLY FOR ANY CONFLICTS WHICH MAY OCCUR:

- * NOTES AND DETAILS ON DRAWINGS GENERALLY TAKE PRECEDENCE OVER GENERAL NOTES
- * DETAIL CALL-OUTS APPLY TO ALL SIMILAR SITUATION WHETHER REFERENCED OR NOT.
- * DIMENSIONS TAKE PRECEDENCE OVER SCALE
- * THE MOST RESTRICTIVE OR LARGER SIZE TAKES PRECEDENCE IN CASE OF A CONFLICT w/ CALLOUTS OR DETAILS. GENERALLY, REFERENCE DETAILS DRAWN AT THE LARGER SCALE WILL TAKE PRECEDENCE OVER ANY CONFLICTS IN SMALLER SCALED DRAWINGS.
- * IN NO CASE SHALL WORK OCCUR IF SPECIFICATIONS OR DETAILS KNOWINGLY VIOLATE LOCAL ORDINANCES OR CODE REGULATIONS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR COMPLIANCE RESOLUTION. ALL LABOR AND MATERIALS USED MUST EQUAL OR EXCEED APPLICABLE STATE OR LOCAL REQUIREMENTS.

FOUNDATION DESIGN SHALL BE PROVIDED BY QUALIFIED ENGINEER. FOR COMPLIANCE WITH SITE CONDITIONS.

WALL DIMENSIONS ARE TO EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

ANY CONNECTED GARAGE SHALL BE SEPARATED FROM THE LIVING AREA OF THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THEN 1/2" GYP BD. USE 5/8" TYPE "X" GYP. BD. FROM HABITABLE ROOMS ABOVE GARAGE.

EXISTING EXTERIOR EXIT DOORS WILL REMAIN AT 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN.

EGRESS WINDOWS FROM SLEEPING AREAS SHALL HAVE A MINIMUM OF 5.7 SQ. FT. CLEAR NET OPENING AND A MIN. CLEAR OPENING HEIGHT OF 24" AND A MINUM CLEAR OPENING WIDTH OF 20". FINISHED SILL SHALL BE A MAXIMUM OF 44" ABOVE THE FLOOR.

BUILDER SHALL VERIFY ALL LOT DIMENSIONS, EASEMENTS, BUILDING LINES, AERIAL EASEMENTS, HEIGHT RESTRICTIONS, ROOF OVERHANGS & GUTTER LIMITATIONS, FINISH FLOOR HEIGHTS, WITH RESPECT TO DRAINAGE AND FLOOD PLAIN ISSUES. COVERAGE PERCENTAGE (IMPERVIOUS COVERO AND ALL DEED RESTRICTIONS PRIOR TO COMMENCING WORK.

MATERIALS STORED ON SITE SHALL BE PROTECTED FROM DAMAGE BY MOISTURE, WIND, SUN, ABUSE OR ANY OTHER HARMFUL AFFECTS.

GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS/PROGRAMS USED TO PROVIDE A SAFE WORKING ENVIRONMENT ON THE JOB SITE AS WELL AS CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION.

ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED PER MANF. RECOMMENDATIONS AND PER APPLICABLE CODES AND REQUIREMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES IN CONNECTION WITH THE WORK, FOR ACTS OF OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DOCUMENTS.

CONTRACTOR(S) SHALL HOLD HARMLESS AND INDEMNIFY THE OWNER AND THE ARCHITECT FOR ANY AND ALL CLAIMS, LIABILITY, LOSS, DAMAGE, COSTS, EXPENSES, INCLUDING ATTORNEY FEES, AND COSTS OF INVESTIGATION AND LITIGATION, AWARDS, AND FINES OR JUDGEMENT IMPOSED BY LAW OR ARISING BY REASON OF DEATH OR BODILY INJURY TO PERSONS, INCLUDING EMPLOYEES OF THE CONTRACTOR, INJURY TO THE PROPERTY, EQUIPMENT AND MATERIAL, RESULTING FROM VIOLATIONS OF GOVERNMENT REQUIREMENTS OR CARELESSNESS IN IMPLEMENTATION OF THE CONSTRUCTION INTENT EXPRESSED IN THE WORKING DRAWINGS, SPECIFICATIONS, AND CONTRACT DOCUMENTS.

CONTRACTOR(S) SHALL BE HELD RESPONSIBLE FOR ANY AND ALL EXPENSES INCURRED IN CONJUNCTION WITH TEARING OUT AND REPAIRING THE WORK OF ANY CONTRACTOR OR WORKMAN ON THE PROJECT AS A RESULT OF DEFECTIVE LABOR PERFORMED OR MATERIAL SUPPLIED BY THE CONTRACTOR.

AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING SERVICES:

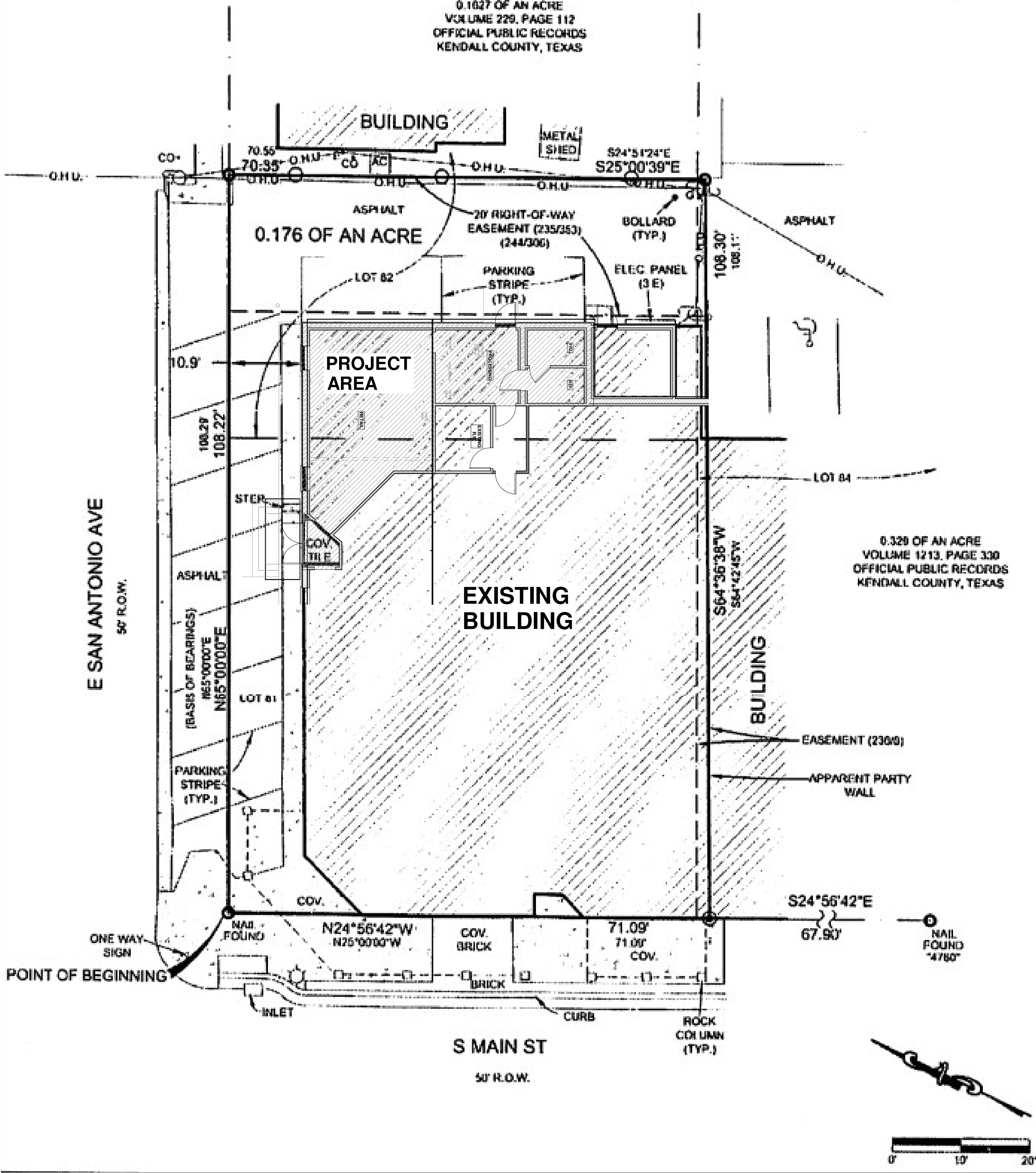
- * REMOVE ALL DIRT, MARK, STAINS, FINGERPRINTS, AND OTHER SOIL FROM PAINTED, DECORATED OR STAINED SURFACES
- * REMOVE SPOTS, SOIL, AND PAINT FROM FINISH CONCRETE.
- * REMOVE ALL TEMPORARY FLOOR COVERINGS
- * REMOVE ALL PUTTY, STAINS, PAINT, LABELS, ETC. FORM ANY GLASS OR MIRROR, WASH AND POLISH INSIDE AND OUT.
- * CLEAN ALL EXTERIOR AND INTERIOR METAL SURFACES. LEAVE WITHOUT BLEMISHES.

PARKING REQUIREMENT

FACILITY TYPE	RETAIL
OVERALL SIZE	774 GSF
PARKING RATIO	1/200 (UDC, CHAP 5)
774 SF RETAIL	~ 4 PARKING SPACES
EXISTING	7 SPACES
NORTH SIDE	2 SPACES
EAST SIDE (REAR)	3 SPACES
S. MAIN STREET	

PUBLIC R.O.W. NOTICE

BY ORDINANCE TO BE INCLUDED IN THE PLANS IS THE FOLLOWING: "CONSTRUCTION OF ALL FACILITIES TO BE DEDICATED TO THE PUBLIC SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY OF BOERNE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION." SUBDIVISION ORDINANCE 8.01.003(B)



1 SITE PLAN
SCALE: 1" = 10'-0"



FIRE SAFETY- CONSTRUCTION

- RE-FUELING OF LIQUID FUELED EQUIPMENT SHALL BE PERFORMED AFTER THE EQUIPMENT HAS BEEN ALLOWED TO COOL. (IFC 1404.4)
- SMOKING SHALL BE PROHIBITED EXCEPT IN APPROVED AREAS. (IFC 1404.1)
- COMBUSTIBLE WASTE SHALL NOT BE ACCUMULATED IN BUILDINGS. (IFC 1404.2)
- OPEN BURNING OF WASTE MATERIALS IS NOT PERMITTED. (IFC 1404.3)
- ALL HOT WORK OPERATIONS REQUIRE A PERMIT. (IFC 1404.4)
- TEMPORARY ELECTRICAL WIRING MUST COMPLY WITH NFPA 70. (IFC 1404.7)
- IMPARTMENTS TO FIRE PROTECTIVE SYSTEMS MUST BE IMMEDIATELY REPORTED TO THE FIRE MARSHAL'S OFFICE. (830) 249-3844
- APPROVED VEHICLE ACCESS FOR FIREPROTECTING SHALL BE PROVIDED TO ALL CONSTRUCTION SITES. (IFC 1410.1)
- APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. (IFC 1412.1)
- IN BUILDING WHERE STANDPIPES ARE REQUIRED, NOT LESS THAN ONE STANDPIPE SHALL BE PROVIDED DURING CONSTRUCTION. (IFC 1413.1)
- IT SHALL BE UNLAWFUL TO OCCUPY ANY PORTION OF A BUILDING OR STRUCTURE UNTIL THE AUTOMATIC SPRINKLER SYSTEM INSTALLATION HAS BEEN TESTED AND APPROVED. (IFC 1414.1) "NO PROTECTION, NO PEOPLE"
- STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED WITH NOT LESS THAN ONE FIRE EXTINGUISHER AS FOLLOWS:
- AT EACH STAIRWAY ON ALL FLOOR LEVELS, 5, IN EVERY STORAGE AND CONSTRUCTION SHED. C. NEAR SPECIAL HAZARDS INCLUDING FLAMMABLE OR COMBUSTIBLE LIQUIDS. (IFC 1415.1)
- DO NOT BURN TRASH OR BRUSH PILES ON-SITE.
- APPROVED PLANS AND PERMITS MUST BE ON-SITE AVAILABLE FOR INSPECTION AT ALL TIMES.

KNOX BOX NOTES

PROVIDE KEY BOX IN ACCORDANCE WITH CITY OF BOERNE FIRE DEPARTMENT REQUIREMENTS. KNOX BOX SHALL BE "CITY OF BOERNE KEY" FIRE MARSHAL, ROBERT LEE

COORDINATE LOCATIONS, MATERIALS, AND INSTALLATION WITH CITY OF BOERNE FIRE DEPARTMENT.

THE KEY BOX SHALL BE MOUNTED NOT LESS THEN 5 FT AND NOT GREATER THEN 6 FT ABOVE THE FINISH FLOOR AND NOT MORE THAN 3 FT FROM THE RIGHT SIDE OF THE MAIN ENTRANCE TO THE BUILDING

ASSEMBLE ALL OF THE FOLLOWING KEYS FOR PLACEMENT INTO THE BOX:

- ONE FOR MAIN ENTRY
- ONE FOR ANY FIRE ALARM SYSTEM
- ONE GRAND MASTER KEY FOR BUILDING

AFTER INSTALLATION OF THE KNOX LOCK SAFE, CONTACT FIRE DEPARTMENT TO TEST AND SECURE THE ACCESS KEYS TO THE SAFE.

GENERAL SITE PLAN NOTES

CONTRACTOR TO TAKE PRECAUTIONS TO PROTECT EXISTING BUILDINGS, LANDSCAPING, DRIVES, ETC.

SUB-CONTRACTORS TO CONFIRM SITE ACCESS AND PARKING REQUIREMENTS w/ GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.

REPAIR ANY DAMAGE TO EXISTING SITE CONDITIONS DUE TO CONSTRUCTION.

VERIFY LOCATION OF ALL UTILITIES (i.e. WATER, SEWER, PUMP EQUIPMENT, ELECTRIC, GAS, COMMUNICATIONS, ETC.) WITH BUILDING OWNER PRIOR TO BEGINNING ANY WORK.

EXACT LOCATION AND DESIGN OF WALKS AND DRIVEWAY TO BE VERIFIED AT JOB SITE BY OWNER & BUILDER.

PROVIDE NECESSARY CONDUIT FOR ELECTRIC, TELEPHONE AND CABLE SERVICES FROM EXISTING BUILDING AND/OR STREET TO THE CONSTRUCTION PHASE.

CONTRACTOR RESPONSIBLE TO PROVIDE APPROPRIATE CONSTRUCTION FENCES FOR LANDSCAPE AND OR ENVIRONMENTAL PROTECTION AS REQUIRED.

REMOVE TOP SOIL FROM BUILDING PAD SITE. STOCKPILE ON PROPERTY FOR REUSE. IT IS UNDERSTOOD THAT THERE ARE NO TREES ON THE SITE. STOCKPILE ON PROPERTY FOR REUSE. IT IS UNDERSTOOD THAT THERE ARE NO TREES ON THE SITE.

FINISH GRADE SHALL BE A MINIMUM OF 8" BELOW EXPOSED SIDING.

UPON COMPLETION OF CONSTRUCTION, ANY TOPSOIL REMOVED DURING EXCAVATION SHALL BE SPREAD AROUND BUILDING AND GRADED TO DRAIN WATER AWAY FROM BUILDING. CREATE SWALES AS NECESSARY TO DRAIN RUNOFF.

STORM WATER MANAGEMENT

GENERAL TECO PERMIT COVERS EVERY LOT IN SUBDIVISION UNTIL THE LOT IS CONVEYED TO THE PURCHASER. ANY CONSTRUCTION ACTIVITY, INCLUDING GRADING, CLEARING, EXCAVATION OR OTHER EARTH MOVING PROCESS MAY REQUIRE AN NPDES STORMWATER PERMIT FOR CONSTRUCTION. IN TEXAS, THE PROGRAM IS IMPLEMENTED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TECO).

www.teco.state.tx.us
TXR 150000

ADDITIONAL INFORMATION CAN BE OBTAINED FROM THE U.S. EPA OFFICE OF WASTEWATER MANAGEMENT
(202) 260-5816
http://www.epa.gov/cowm/swl

PHASE I OF EPA'S STORM WATER REGULATIONS REQUIRE OPERATORS OF CONSTRUCTION ACTIVITY DISTURBING 5 ACRES OR MORE OF LAND TO APPLY FOR AN NPDES STORM WATER PERMIT. DISTURBANCE REFERS TO EXPOSED SOIL RESULTING FROM CLEARING, GRADING, OR EXCAVATING PERFORMED DURING ROAD BUILDING, CONSTRUCTION, OR DEMOLITION.

FOR THE PURPOSES OF THE REGULATION, AN "OPERATOR" IS THE PARTY OR PARTIES THAT HAVE OPERATIONAL CONTROL OF THE PROJECT PLANS AND SPECIFICATIONS OR DAY-TO-DAY OPERATIONAL CONTROL OF THE AFFECTED CONSTRUCTION ACTIVITIES.

UNDER PHASE II RULE, OPERATORS OF CONSTRUCTION ACTIVITIES DISTURBING EARTH OR GREATER THAN ONE ACRE AND LESS THAN FIVE ACRES OF LAND ARE SUBJECT TO NPDES PERMITTING REQUIREMENTS.

UNDER BOTH PHASE I AND PHASE II RULES, OPERATORS MAY BE REQUIRED TO IMPLEMENT EROSION CONTROL AND SEDIMENT CONTROL PRACTICES, CONTROL WASTE, DEVELOP STORM WATER POLLUTION PREVENTION PLANS, CONDUCT REGULAR INSPECTIONS, OR INCLUDE OTHER BEST MANAGEMENT PRACTICES TO CONTROL WATER POLLUTION. CONSTRUCTION SITES COVERED BY THESE RULES ARE ALSO SUBJECT TO INSPECTION BY STATE OFFICIALS.

NOTWITHSTANDING ANY INFORMATION PROVIDED IN THIS DOCUMENT, CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND ACCEPTED SAFETY PRACTICES.

FLAT WORK SPECIFICATIONS

ANY NEW SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 4'-0" UNLESS APPROVED OTHERWISE BY OWNER.

DUMMY JOINTS PARALLEL TO THE CURB SHALL BE PLACED WHERE THE SIDEWALK MEETS THE DRIVEWAY. DUMMY JOINTS PERPENDICULAR TO THE CURB, AND WITHIN THE BOUNDARIES OF THE PARALLEL DUMMY JOINTS, SHALL BE PLACED AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK.

A MINIMUM OF TWO ROUND AND SMOOTH DOWEL BARS 3/8" IN DIAMETER AND 18" IN LENGTH SHALL BE SPACED 18" APART AT EACH EXPANSION JOINT.

ANY SIDEWALK RAMP LENGTHS SHALL BE OF SUFFICIENT LENGTH TO MAINTAIN 8.33% (1:12) MAXIMUM SLOPE, WHERE SIDEWALKS CROSS DRIVEWAYS. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.

ALL SIDEWALK RAMP SURFACE SHALL BE BRUSH FINISH.

IF CONNECTING TO ANY EXISTING SIDEWALK, THE OLD WALK SHALL BE VERTICALLY CUT WITH A CONCRETE SAW. A COMPLETE SECTION OF WALK SHALL BE REMOVED, BACKFILL SHALL BE WELL TAMPED PRIOR TO REPLACEMENT OR PLACEMENT OF NEW WALKS.

REINFORCING STEEL DOWELS (#4 X 2'-0" BARS SPACED 18" ON CENTER) SHALL BE USED TO THE EXISTING WALK AND FOR NEW WALKS AT EVERY EXPANSION JOINT.

EXPANSION JOINTS SHALL BE PROVIDED FOR NEW SIDEWALKS SPACED EVERY 20 FT, BUT NO MORE THEN 24 FT, ALONG THE FULL LENGTH OF THE SIDEWALK. AN EXPANSION JOINT WITH DOWELS SHALL BE INSTALLED BETWEEN ANY SIDEWALK AND DRIVEWAY. DUMMY JOINTS (CONTROL JOINTS) SHALL BE PROVIDED EVERY 4 FT O.C. FOR FULL LENGTH OF SIDEWALK.

SIDEWALKS SHALL BE FOUR INCH MIN. THICKNESS.

CONCRETE FOR THE SIDEWALKS SHALL BE REINFORCED WITH MIN. #3 REBAR 12" O.C. EACH WAY. STEEL TO BE PLACED AT THE VERTICAL CENTER OF THE SIDEWALK.

CONCRETE FOR SIDEWALKS SHALL BE A MINIMUM 3000 PSI CONCRETE.

ACTUAL FLATWORK DESIGN MAY VARY FROM WHAT IS SHOWN AND SHOULD BE VERIFIED WITH SUPERINTENDANT PRIOR TO CONSTRUCTION.

CITY L.I.D. NOTICE

BY ORDINANCE TO BE INCLUDED IN THE PLANS IS THE FOLLOWING: "CONSTRUCTION OF ALL FACILITIES TO BE CONSTRUCTED SHALL BE PERFORMED PER REQUIREMENTS OF CITY OF BOERNE LID MANUAL."

BEN ADAM, AIA
ARCHITECT

115 JAMES ST.
BOERNE, TX 78006
7830-446-6444



NOTICE

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THESE DOCUMENTS AND THEIR CONTENTS, INCLUDING WITHOUT LIMITATION, THE CONCEPTS AND IDEAS AND EXPRESSIONS THEREOF, ARE CONFIDENTIAL AND MAY BE RELEASED ONLY TO THOSE INTENDED RECIPIENTS APPROVED BY THE ARCHITECT, AND SHALL NOT BE COPIED, FROM, OR SHOWN, OR LOANED TO OTHERS. THESE DOCUMENTS AND THEIR CONTENTS ARE SUBJECT TO RECALL AT THE DISCRETION OF THE ARCHITECT. NOTE: ARCHITECT RETAINS THE RIGHT TO USE CONCEPTS, PLANS, DETAILS, NOTES, ETC. IN WHOLE OR IN PART ON PREVIOUS AND FUTURE PLANS.

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MAINZ MEAT MARKET for
MASON MAINZ
101 S. MAIN STREET, SUITE C
BOERNE, TX 78006
KENDALL COUNTY

CIVIL ENGINEER
NONE
MEP ENGINEER
NONE
STRUCTURAL ENGINEER
NONE

REVISIONS	
DATE	ISSUE
12.02.2024	PRELIMINARY PLAN
01.16.2025	ADD SURVEY/ SITE
02.25.2025	REV.C.O.B. MTG
02.26.2025	REV. for HLC
03.26.2025	REV. for COB

AREA	FLOOR	BASE	WALLS	CEILING
ENTRY	TILE	WOOD, PTD	GWB, PTD	GWB, PTD
RETAIL	TILE	WOOD, PTD	GWB, PTD	GWB, PTD
PROCESSING	TILE	TILE	FRP	GWB, PTD
W.I. REF	TILE	-	FRP	FRP
W.I. FRZ	TILE	-	FRP	FRP

PROVIDE BLOCKING IN ALL BATHROOMS FOR ADA GRAB BARS. BLOCKING TO BE A MINIMUM 2X6 WITH CENTER AT 34" AFF. VERIFY VERTICAL GRAB BAR LOCATIONS WITH OWNER.

ALL WINDOWS DIMENSIONED BY CALL SIZE. VERIFY ACTUAL DIMENSIONS OF ROUGH OPENINGS WITH MANUFACTURER.

ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR SHALL BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS PER CODE.

ALL GLAZING USED IN DOORS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS

PROVIDE BLOCKING FOR CEILING FANS IF AND WHERE SHOWN ON PLAN OR REQUESTED IN THE FIELD
BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES AND RELATED COMPONENTS.

ALL ATTIC ACCESS DOORS TO BE WEATHERSTRIPPED.

CONTRACTOR TO PROVIDE 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS. UNITS TO BE WITHIN 20 FT OF ATTIC ACCESS.

METAL FLASHING AND COUNTERFLASHING SHALL BE A MINIMUM OF 26 GAUGE

ROOF VALLEY FLASHING SHALL BE A MINIMUM 26 GAUGE CORROSION RESISTANT. METAL VALLEY FLASHING SHALL EXTEND A MINIMUM 8" EACH WAY FROM RAISED 3/4" SPLASH DIVERTER. OVERLAP SECTIONS A MINIMUM OF 8"

FLASH AND COUNTER FLASH AT ALL ROOF TO WALL CONDITIONS

APPLY FOIL/ASPHALT WINDOW WRAP OVER BUILDING WRAP AS FLASHING AROUND ALL EXTERIOR OPENINGS.

RE-FUELING OF LIQUID FUELED EQUIPMENT SHALL BE PERFORMED AFTER THE EQUIPMENT HAS BEEN ALLOWED TO COOL (JFC 1403.4)

- SMOKE SHALL BE PROHIBITED EXCEPT IN APPROVED AREAS. (JFC 1404.1)
- COMBUSTIBLE WASTE SHALL NOT BE ACCUMULATED IN BUILDINGS (JFC 1404.2)
- BURNING OF WASTE MATERIAL SHALL BE PROHIBITED (JFC 1404.3)
- ALL HOT WORK OPERATIONS REQUIRE A PERMIT (JFC 1404.6)
- TEMPORARY ELECTRICAL WIRING SHALL BE LIMITED TO 15 AMPERES (JFC 1404.7)
- IMPAIRMENTS TO FIRE PROTECTIVE SYSTEMS MUST BE IMMEDIATELY REPORTED TO THE FIRE MARSHAL'S OFFICE (249-349-364)

ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION SITES. (JFC 1410.1)

AVAILABLE WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. (JFC 1412.1)

NO OPEN FLAMES OR SMOKING SHALL BE ALLOWED IN ANY AREAS WHERE FLAMMABLE OR COMBUSTIBLE DURING CONSTRUCTION. (JFC 1413.1)

NO SHALL BE UNWILFUL TO OCCUPY AN PORTION OF A BUILDING OR STRUCTURE UNTIL THE AUTOMATIC FIRE SUPPRESSION SYSTEM HAS BEEN TESTED AND APPROVED. (JFC 1414.1) "NO PROTECTION, NO PEOPLE"

CONSTRUCTION UNDER CONSTRUCTION SHALL BE PROVIDED WITH NOT LESS THAN ONE FIRE EXTINGUISHER AS FOLLOWS:

- ALL CONSTRUCTION ON ANY FLOOR LEVELS, B. IN EVERY STORAGE AND CONSTRUCTION SCHED. C. NEAR SPECIAL HAZARDS INCLUDING FLAMMABLE OR COMBUSTIBLE LIQUIDS. (JFC 1415.1)
- ALL MAJOR TRUCKS OR BUSES SHALL BE PROVIDED WITH TWO EXTINGUISHERS
- APPROVED PLANS PERMITS SHALL BE ON SITE AVAILABLE FOR INSPECTION AT ALL TIMES.

THESE NOTES ARE GENERAL IN NATURE AND ARE INTENDED TO SET A MINIMUM STANDARD FOR CONSTRUCTION. WHERE THERE IS A CONFLICT IN DRAWINGS, SPECIFICATIONS AND THESE NOTES, THE MORE STRINGENT SHALL GOVERN.

CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE. SHALL CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE TENANT OF ANY DIMENSIONAL ERRORS, OMISSIONS AND/OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DIMENSIONS TAKE PRECEDENCE OVER SCALE.

CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ALL FEDERAL, STATE (IBC 2003) COUNTY AND LOCAL CODES. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS.

THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCUR BECAUSE OF THIS WORK. GC IS RESPONSIBLE FOR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.

SYMBOLS FOR APPLIANCES, PLUMBING, AND OTHER FIXTURES INDICATE SIZE AND POSITION ONLY.
REFER TO SELECTIONS AND/OR SPECS FOR ACTUAL CUTOUTS AND COORDINATION ISSUES.

CONTRACTOR SHALL COORDINATE AND PROVIDE METAL BACKING PLATES OR SOLID WOOD BLOCKING (FIRE TREATED) IN WALL PARTITIONS FOR ALL MILLWORK AND WALL ATTACHED ITEMS (GRAB BARS ETC.)

CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW ROUGH OPENING DIMENSIONS WITH DOOR
WINDOW MANUFACTURER. UNDERCUT ALL DOORS TO CLEAR TOP OF FINISHED FLOOR BY 1/4".

ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY THE OWNER OR UNDER SEPARATE CONTRACT. GC TO INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC AND DO NOT INTEND TO SHOW ALL DETAILS AND CONDITIONS OF CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR CONFLICTS WHICH MAY OCCUR BECAUSE OF THE ARCHITECTS EXCLUSION FROM PARTICIPATION IN THE ACTUAL DAY TO DAY CONSTRUCTION OF THE PROJECT

WALL DIMENSIONS ARE TO EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN SAME PLANE. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSION AND ORIENTATION ON PLANS/ELEVATIONS.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. GLAZING IN DOOR SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60. PERIMETER OF DOOR SHALL BE WEATHERSTRIPPED.

CONTRACTOR SHALL COORDINATE WITH THE TENANT THE SCHEDULE FOR TELEPHONE AND NETWORK COMPANY INSTALLATION.

WORK AREAS SHALL REMAIN SECURE AND LOCABLE DURING CONSTRUCTION. GC SHALL COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY. THE CONTRACTOR SHALL MAINTAIN FOR THE DURATION FOR THE WORK ALL EXITS AND EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL CODES AND ORDINANCES.

ALL EGRESS DOORS TO BE OPERABLE FROM THE DIRECTION OF TRAVEL WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

ALL HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE INSTALLED AT 36" A.F.F., LATCHING. LOCKING DOORS SHALL BE OPERATED WITH A SINGLE EFFORT BY LEVER HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT THE ABILITY TO GRASP.

MANUALLY OPERATED BOLTS OR SURFACE BOLTS ARE NOT PERMITTED.

THE UNLATCHING OF ANY EGRESS DOOR SHALL NOT REQUIRE MORE THEN ONE OPERATION

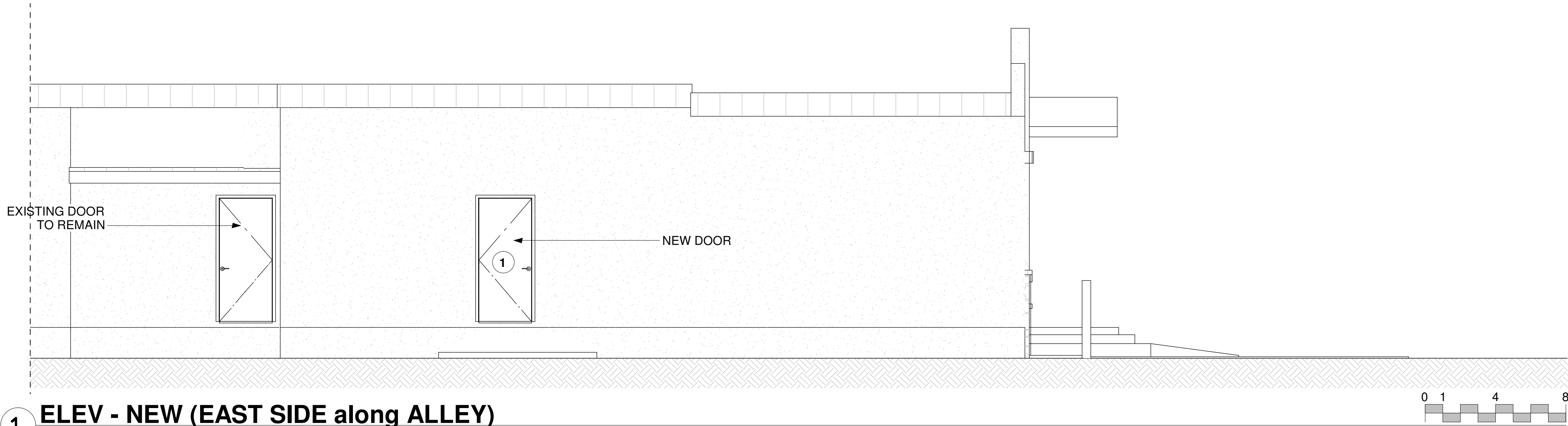
MAXIMUM EFFORT TO OPERATE EXTERIOR AND INTERIOR DOORS SHALL NOT EXCEED 5 POUNDS. WITH SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND A THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.

WHEN DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION TO 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LANDING EDGE OF THE DOOR.

ANY REQUIRED "EXIT" DOORS ARE TO BE 45 MINUTE LABELED ASSEMBLIES w/ TIGHT FITTING SMOKE GASKETS & SELF CLOSERS. THERE WILL BE NO STORAGE ALLOWED IN ANY EXIT PASSAGEWAY.



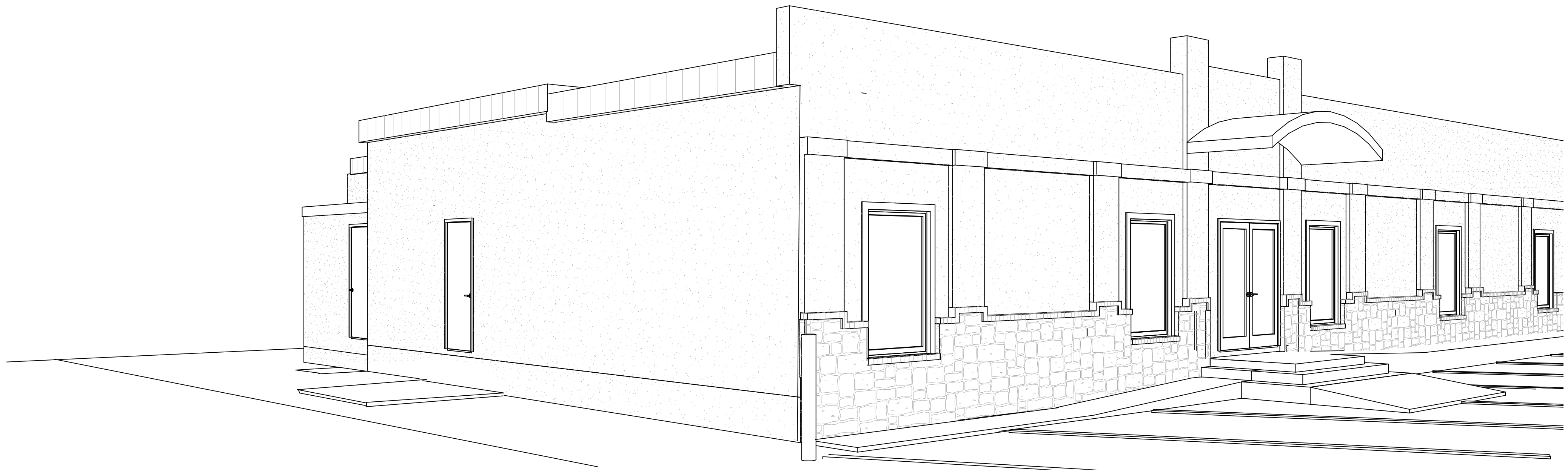
FILE: C:\Users\Ben\Desktop\24-185 Mainz Meat S CD\Mainz Meat Mkt CD 24-185.dwg



1 ELEV - NEW (EAST SIDE along ALLEY)
SCALE: 1/4" = 1'-0"



2 ELEV - NEW (NORTH SIDE along W. SAN ANTONIO ST.)
SCALE: 1/4" = 1'-0"



3 PERSPECTIVE of NORTHEAST CORNER
SCALE: NOT TO SCALE

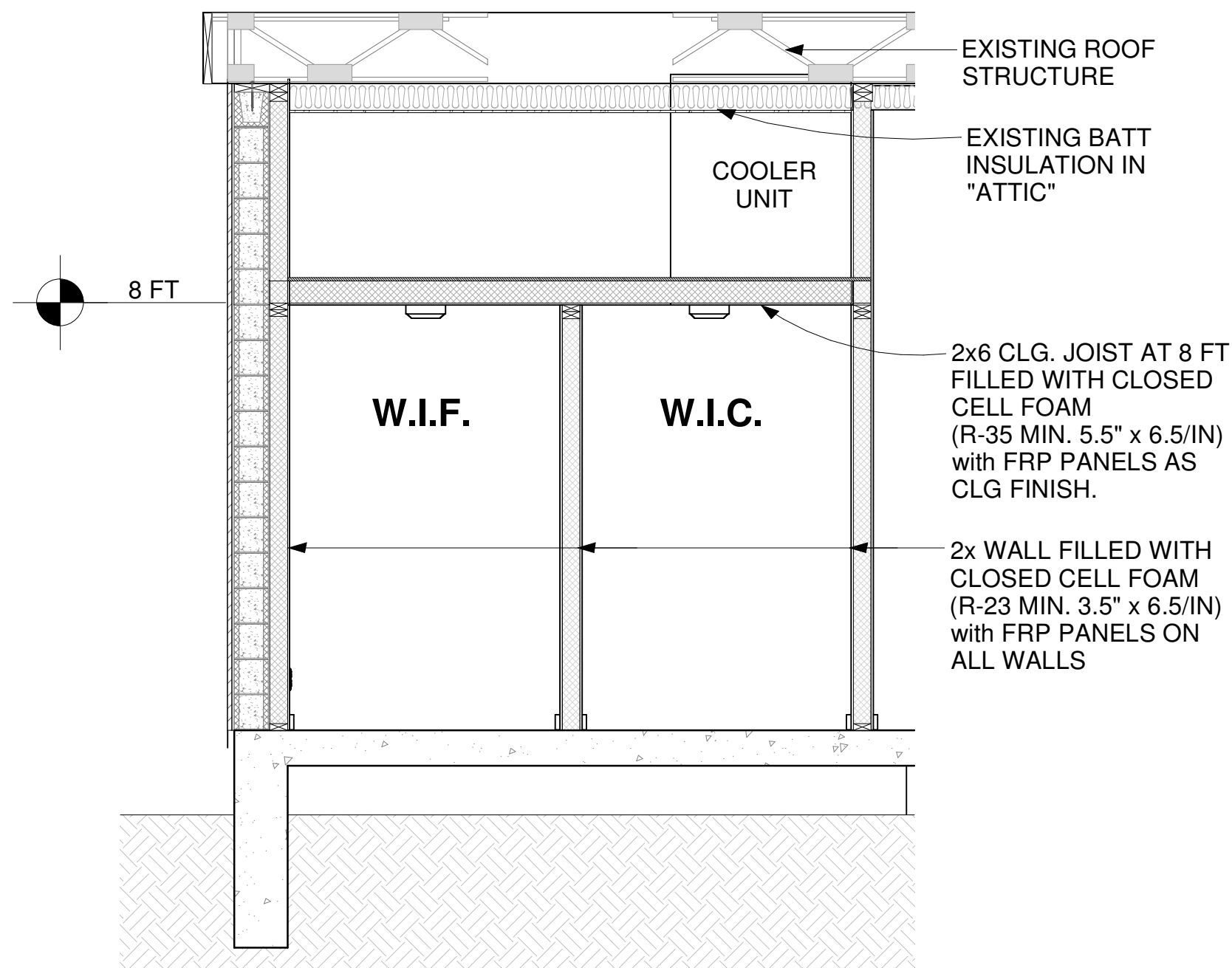
WALL BRACING - HORIZONTAL JOINT

BLOCK UNSUPPORTED
EDGES AT WALL
BRACING LOCATIONS

7/16" OSB OR
PLYWOOD APA
RATED SHEATHING
NAILED PER CODE

SPECIAL NOTE:
ANY NEW EXTERIOR WALL/
FRAMING TO BE FULLY
SHEATHED w/ 7/16" ZIP SIDING
by ADVANTECH

4 DETAIL: WALL SHEATHING, CONT.
SCALE: NOT TO SCALE



5 DETAIL: WALK-IN FREEZER/ COOLER
SCALE: NOT TO SCALE

**BEN ADAM, AIA
ARCHITECT**

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BOERNE, TX 78006
P: 830-446-6444

EXPIRES 8.31.2025

REGISTERED ARCHITECT
BENEDICT M. ADAM
13094
STATE OF TEXAS

03/26/2025

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**MAINZ MEAT MARKET for
MASON MAINZ**

101 S. MAIN STREET, SUITE C
BOERNE, TX 78006
KENDALL COUNTY

CIVIL ENGINEER
NONE

MEP ENGINEER
NONE

STRUCTURAL ENGINEER
NONE

REVISIONS	DATE	ISSUE
12.02.2024	PRELIMINARY PLAN	
01.16.2025	ADD SURVEY/ SITE	
02.25.2025	REV. C.O.B. MTG	
02.26.2025	REV. for HLC	
03.26.2025	REV. for COB	

DATE PRINTED: 3/26/2025

PROJECT NO. 24-185

DRAWN BY: PKK, BMA

SHEET NAME
**EXTERIOR
ELEVATIONS
(NEW)**

SHEET
A.200

NO.	CODE	WIDTH	HT	THICK	TYPE	FRAME	HARDWARE	REMARKS
1	6070	72"	84"	2"	A	METAL	PUSH BAR/PANIC	GLASS, TEMPERED
2	3070	36"	84"	-	B	WOOD	N/A	CASED OPENING
3	3070	36"	84"	-	B	WOOD	N/A	CASED OPENING
4	3068	36"	80"	-	B	WOOD	N/A	CASED OPENING
5	3070	36"	84"	2"	C	METAL	PUSH BAR/PANIC	SOLID, PANEL
6	3068	36"	80"	2"	D	METAL	PASSAGE	COOLER/ FRP INTERIOR
7	3068	36"	80"	2"	D	METAL	PASSAGE	COOLER/ FRP FINISH
8	3070	36"	84"	2"	D.1	METAL	PASSAGE	
9	3070	36"	84"	2"	D.1	METAL	PASSAGE	

Four elevation drawings of door and window units are shown, each with dimensions:

- Unit 1 (Leftmost):** A double door unit with a width of 6'-0" and a height of 7'-0". It features a diamond-shaped muntin pattern in the glass.
- Unit 2:** A single door unit with a width of 3'-0" and a height of 7'-0". It is a solid door.
- Unit 3:** A single door unit with a width of 3'-0" and a height of 7'-0". It features a diamond-shaped muntin pattern in the glass.
- Unit 4 (Rightmost):** A single door unit with a width of 3'-0" and a height of 6'-8". It features a diamond-shaped muntin pattern in the glass and a small rectangular panel at the bottom.

-

A black and white photograph of a front door. The door is light-colored with a large circular window in the upper half. It has a vertical handle and a lock mechanism. Above the door is a small, rectangular light fixture. To the left of the door, a security camera is mounted on the wall. A dark mat is placed on the ground in front of the door. The wall is light-colored and appears to be made of concrete or plaster. There is a small, dark object on the ground to the right of the door.

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 BOERNE, TX 78006
 T 830-446-6444

EXPIRES 8.31.2025



03/26/2025

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101 S. MAIN STREET, SUITE C
BOERNE, TX 78006
KENDALL COUNTY

CIVIL ENGINEER
NONE

MEP ENGINEER
NONE

STRUCTURAL ENGINEER
NONE

REVISIONS

DATE ISSUE

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03.26.2025	REV. for COB

DATE PRINTED: 3/26/2025

PROJECT NO. 24-185

DRAWN BY: PKK. BMA

SHEET NAME

WALL & DOOR NOTES & SCHEDULE

SHEET

A.500

Diagram illustrating the construction details of a door threshold assembly, showing the cross-section of the door frame and the surrounding wall structure.

HEAD:

- 1 HR RATED ASTM E119/NFPA 251
- 2x4 WOOD STUDS @ 16" o.c.
- 5/8" TYPE "X" GYP. BD. 4FT
- APPLIED HORIZONTALLY w/2 1/4" TYPE S DRYWALL SCREWS SPACED 12" o.c.

2x4 FIRE BLOCKING IN ALL WALLS 10 FT. AND HIGHER

R-13 ACOUSTIC BATT INSULATION (MIN.)

BASE AS SCHED.

SILL:

- 2x4 SILL PLATE ON TWO (2) CONTINUOUS BEADS OF SEALANT

Diagram illustrating the components and specifications for a window assembly, showing the HEAD, SILL, and CEILING AS SCHED. (Schedule) sections.

HEAD Section:

- 1 LAYER 5/8" TYPE "X" GYP. BD EACH SIDE
- 2x4 WOOD STUDS @ 16" o.c. PTD. GYP. BD.
- 2x4 FIRE BLOCKING IN ALL WALLS 10 FT. AND HIGHER

SILL Section:

- SOUND ATTENUATION BLANKETS IN WALLS PER PLAN
- BASE AS SCHED.
- 2x4 SILL PLATE

Diagram illustrating the cross-section of a window head and sill assembly, showing the following components and specifications:

- HEAD:**
 - WIC & WIF WALLS
 - 2"x4 WOOD STUDS @ 16" o.c.
 - CLOSED CELL INSULATION (FOAM)
 - 5/8" TYPE "X" GYP. BD. 4FT
 - APPLIED HORIZONTALLY w/2 1/4"
 - TYPE S DRYWALL SCREWS SPACED 12"
 - FRP PANEL FINISH SURFACE
- INSULATION:**
 - R-13 ACOUSTIC BATT INSULATION (MIN.)
- SILL:**
 - BASE AS SCHED.
 - 2"x4 SILL PLATE ON TWO (2) CONTINUOUS BEADS OF SEALANT

CEILING AS SCHED.

WIC & WIF WALLS
 2x4 WOOD STUDS @ 16" o.c.
 CLOSED CELL INSULATION (FOAM)
 5/8" TYPE "X" GYP. BD. 4FT
 APPLIED HORIZONTALLY w/2 1/4"
 TYPE S DRYWALL SCREWS SPACED 12" o.c.
 FRP PANEL FINISH SURFACE

R-23 INSULATION (MIN.)

BASE AS SCHED.

2x4 SILL PLATE ON TWO (2)
 CONTINUOUS BEADS OF SEALANT

WALL TYPE "B" (NR)

WALL TYPE "C"

1

SCALE: 3/8" = 1'-0"