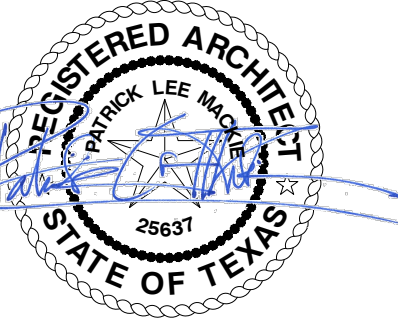




304 N Madrone Trail
Austin, Texas 78737



Historic District regulation 3.11.E.5.B specifies that windows should be at least 50% of the building front facade, from 2 feet to 8 feet above the ground level. Please revise the design so that the distance from the ground to the base of the front windows is 2 feet.

In addition, Historic District regulation 3.11.E.5.C specifies that Architectural details shall be utilized in building facades, and ornamentation shall include a combination of the following decorative elements on the building facade:

- i. Cornices and eaves
- ii. Moldings, corbels and brackets
- iii. Masonry patterns
- iv. Cornices
- v. Window hoods

It appears that the design currently integrates cornices, eaves and masonry patterns, which is great.

Would there be any possibility of also including corbels, moldings, or brackets around the front entry doors?

	Construction	Architect	
	Andiamo Builders, LLC 48 Toepperwein Road Boerne, Texas 78006 830.981.3000	787designstudio 8304 N Madrone Trail Austin, Texas 78737 512.944.0573	

	For Permit 17 June 2024
--	----------------------------

787 design studio, LLC expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party, without first obtaining the express written permission and consent of 787 design studio, LLC.

Reference is made to a field note description of 0.971 ac. dated October 25 & 27, 2010 accompanying this plat.

Existing fences where shown actually meander back and forth generally along and not necessarily on line.

The 3 ft iron fence is fine in the front, with 6 foot fence located along the side and rear of the property. Please note that section 5.4 D of our Unified Development code requires that wrought iron fences have masonry columns spaced a maximum of twenty (20) feet on center with structural supports spaced every ten (10) feet, and with sufficient evergreen landscaping to create a screening effect;

Planning Department is verifying whether the utilities easement will require swing gate access along utility easement. Section 6.4.C of UDC requires fences crossing an easement to have double swing gates to allow ready access to the easement and provide a minimum open width of twelve (12) feet.

Parking spaces must be minimum 9 ft wide by 18 ft deep, as per section 5.6 of our Unified Development Code. This 8 ft wide parking space is not technically compliant.

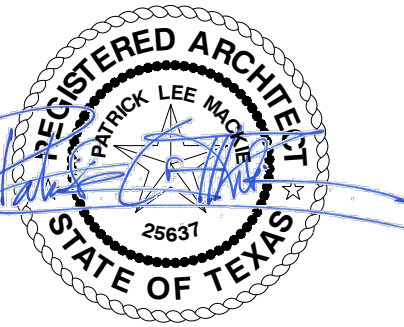
Part Original Boerne Lot 29
0.971 Ac. Field

0.970 Ac. Record

01 **Site Plan**
1/16"=1'-0"
SCALE: 1/16"=1'-0" (IN FEET)
0 8' 16' 32'

7:7
designstudio

304 N Madrone Trail
Austin, Texas 78737

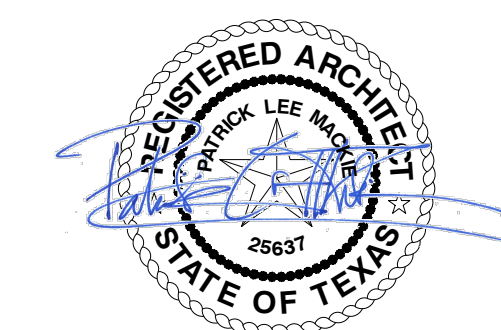


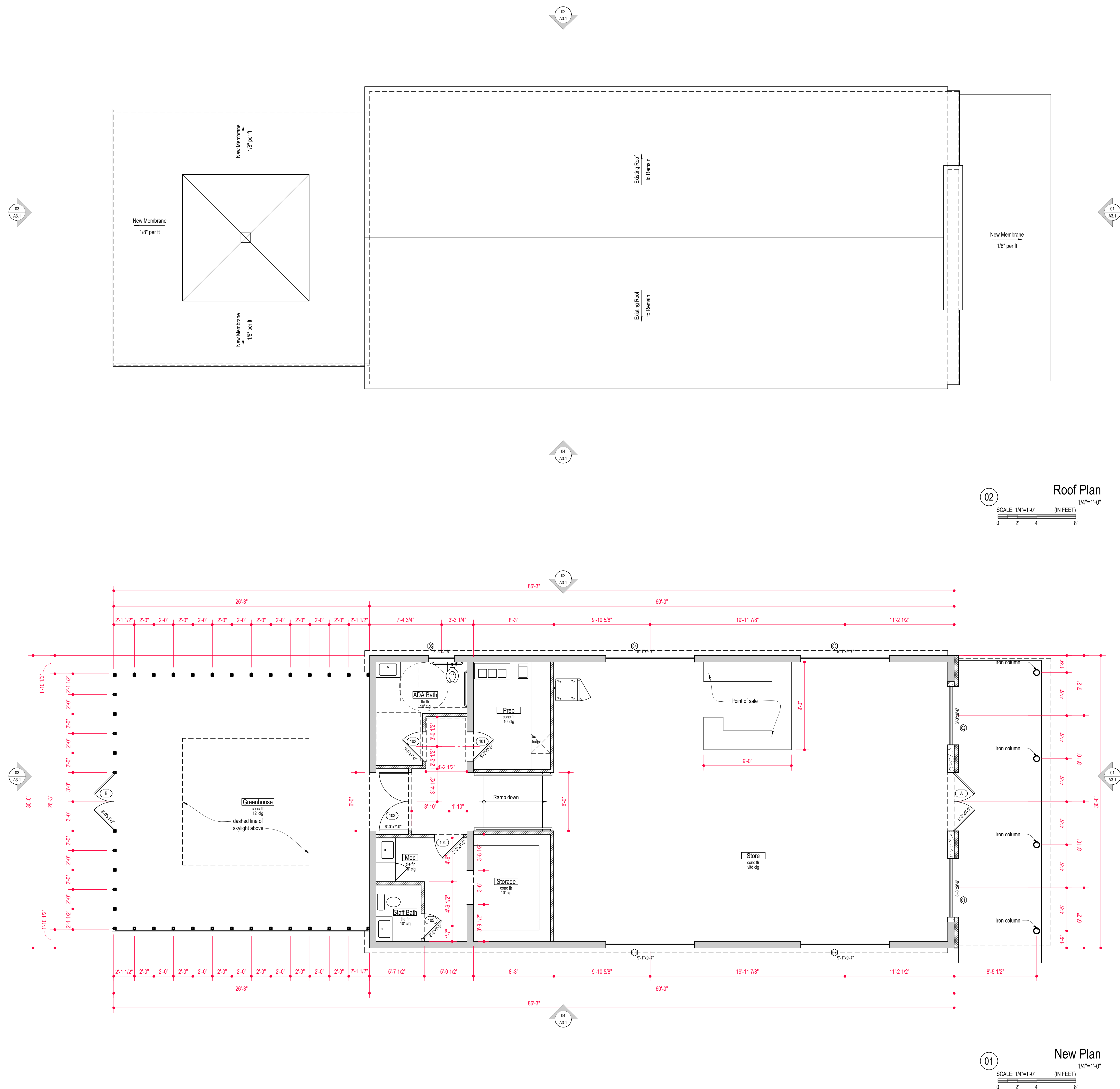
Lulu's Garden
 262 South Main Street
 Boerne, Texas

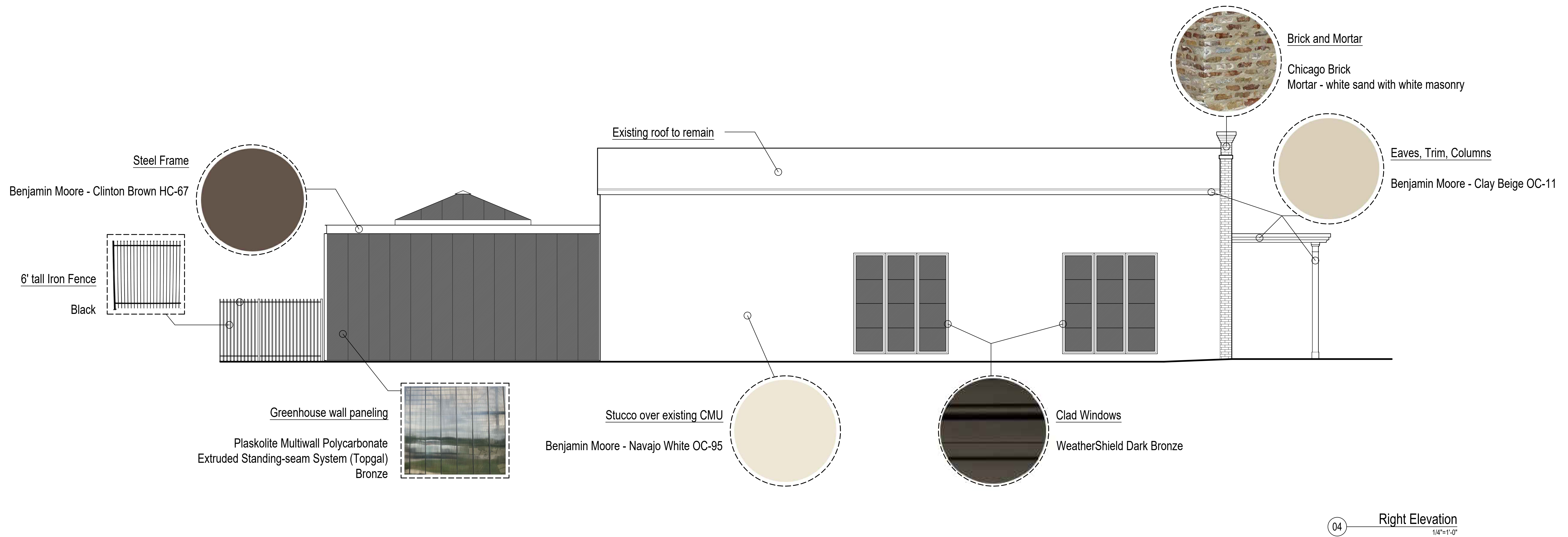
ssued

Site Plan

A1.1



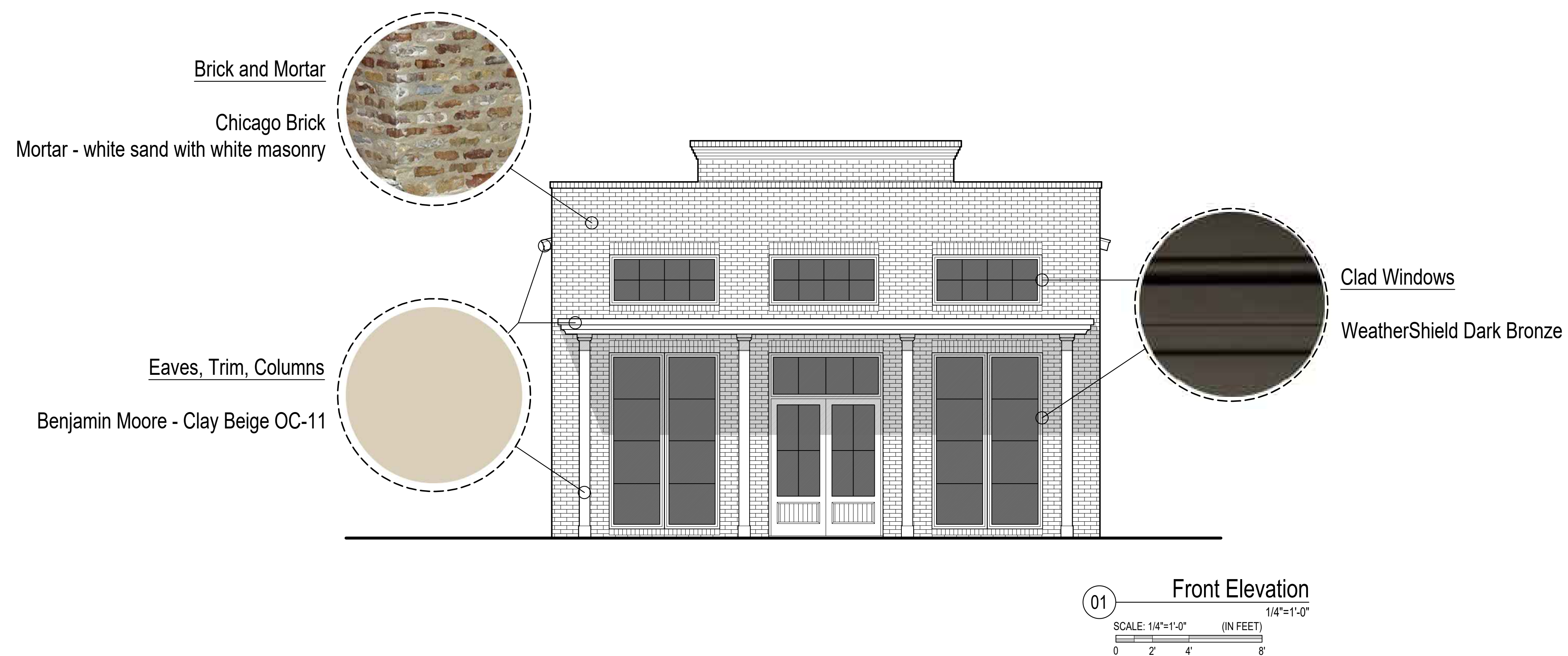




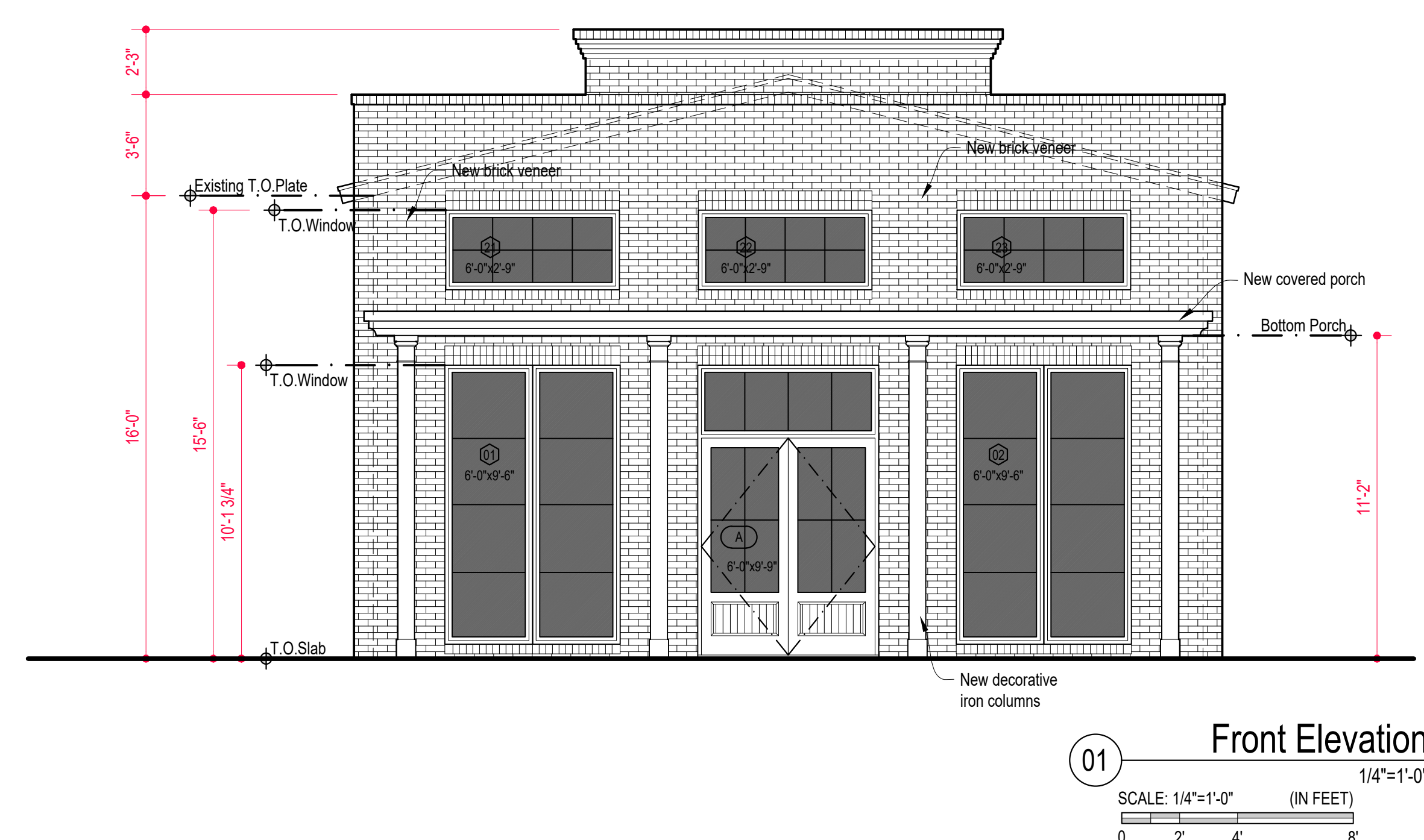
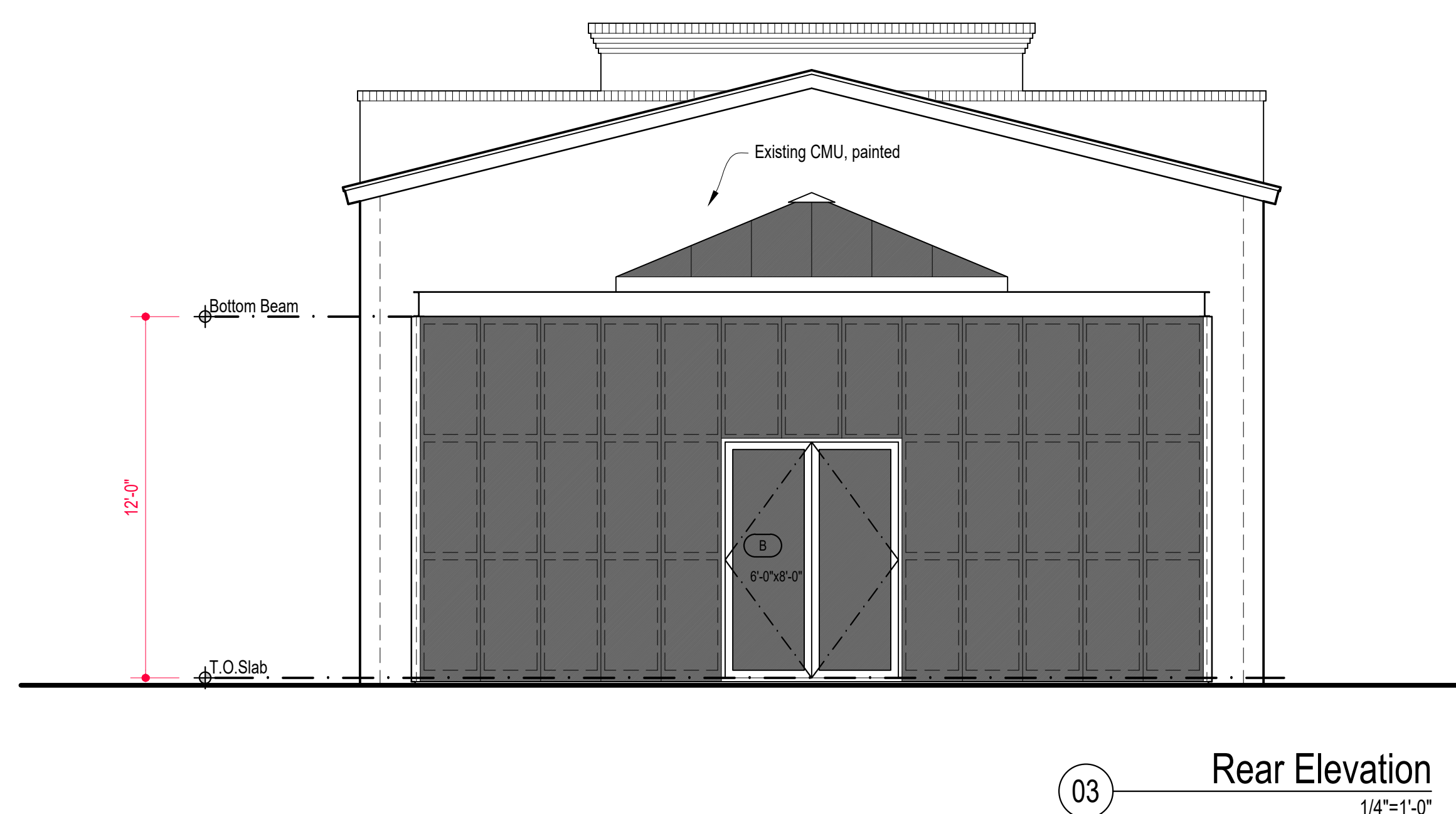
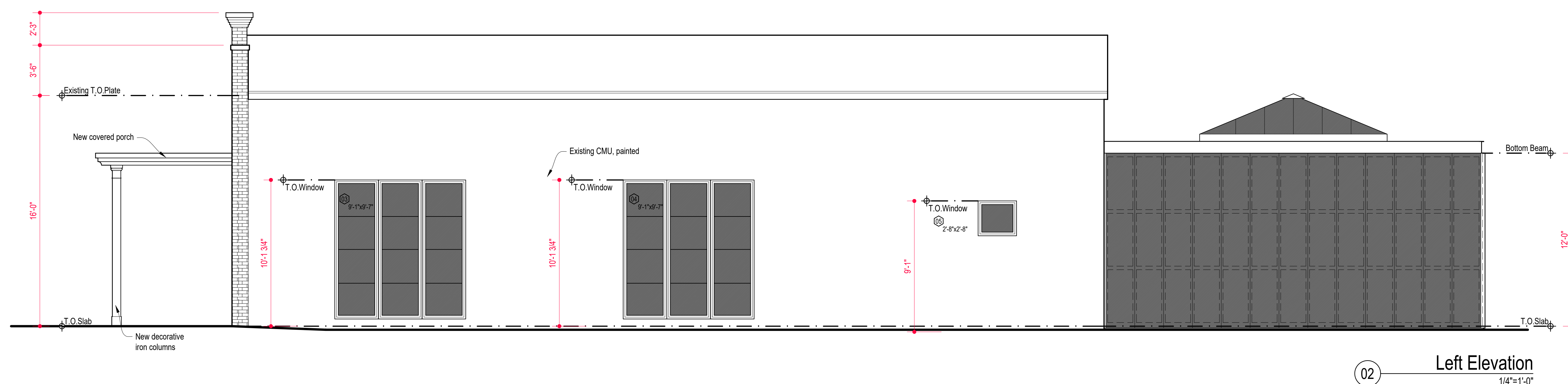
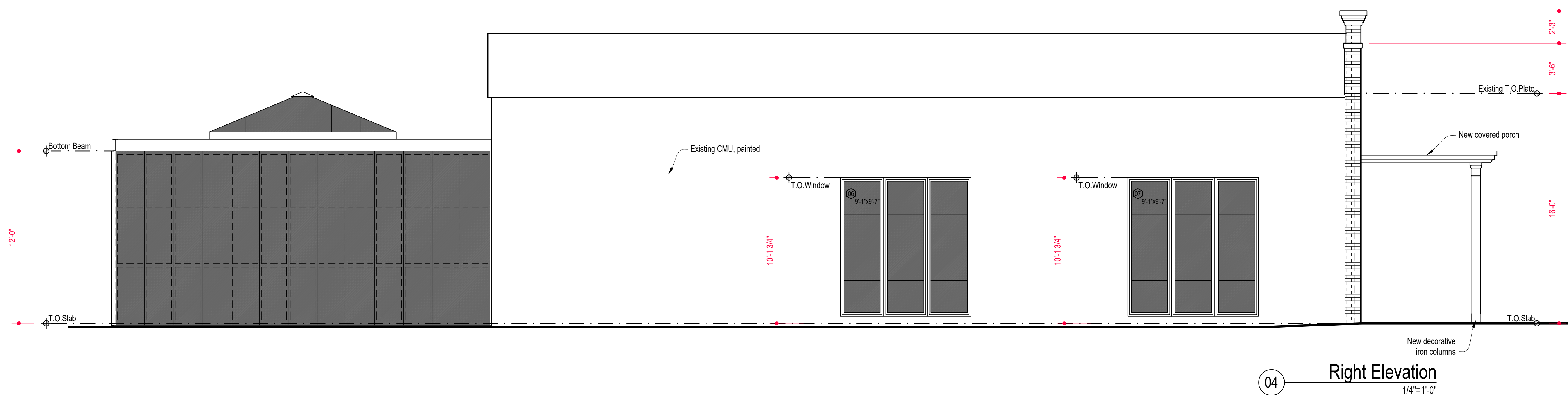
Please revise drawings to address comment about front facade window placement/height, provided on sheet 1. In addition, section 3.11.E.f. of the Historic District Overlay specifies the following building materials:

ii.If bricks are used as façade material on the building, such brick shall closely match traditional mortar and brick color tones. White or light mortars shall not be used with dark brick colors.

Please reconsider choice of white mortar in the description, to select a more historic (darker color) mortar color, - this can be achieved by mixing light cement with a small amount of red sand, to achieve more of an off-white/beige mortar color. The photo below appears to show an off-white/beige mortar color, which is fine, but the descriptions says white sand with white masonry, which is not permitted in the district. Please revise description.



Existing
Front Elevation
1/4"=1'-0"



787 design studio, LLC expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in