





Construction	Architect	
Andiamo Builders, LLC 48 Toepperwein Road Boerne, Texas 78006 830.981.3000	787designstudio 8304 N Madrone Trail Austin, Texas 78737 512.944.0573	

TuTu's Garden 262 South Main Street Boerne, Texas

General Notes

Electrical/RCP Key

4-Way Switch

Occupancy Sensr Switch

Site	<u>e Plan</u>	Legal Description
	Field verify location of building with Architect and Owner prior to construction. Refer to geotechnical report for information regarding site preparation and foundation structural recommendations. Recommendations in geotechnical report shall be strictly followed. Tree Protection: When within 10 feet of a protected tree, explore sub-grade conditions for existing tree roots at proposed grade beam locations. Roots smaller than 2" in diameter shall be	.971 of an acre of land, mobeling the same tract of land
	cut cleanly at the beam and buried promptly. Roots greater than 2" in diameter shall be preserved and protected. Install a fence at the dripline of trees to be preserved or as indicated on the	Jurisdiction
	plans. No trenching shall be allowed within the drip line of trees to be preserved. Refer to tree protection diagrams on sheet A0.2 for balance of information. Grade site to provide positive drainage away from entire building perimeter. Establish appropriate drainage early in the project and maintain throughout construction. Refer to grading plan	City of Boerne
	and landscape plan (if available) for other grading information.	Oity of Booting
	Provide and maintain silt fence per code. Refer to erosion control diagrams on sheet A0.2 for balance of information. Downspouts shall be connected to a below grade drainage system composed of 6" diameter, schedule 40 PVC drain lines to run adjacent to the building foundation at a slope of no less	Code Compliance
	than 1/8" per foot. Provide cleanouts as required.	This project shall comply w
	At stake out, before proceeding with any other work or ordering materials, the Contractor and/or subcontractors shall verify plan dimensions and measurements, locations of all lot lines, easements, building setback lines, and side and rear yard requirements and shall be responsible for the correct and appropriate location and relationship of these lines to what will be	2021 International Building
	constructed.	2020 National Electrical Co
	Utilities: Prior to construction, the General Contractor shall verify extent of utility work with Owner and Architect. GC shall locate existing gas and water meters and shall determine whether repair or replacement is required. GC shall verify location of electrical, cable television and telephone connections, and will help determine on-site the most appropriate route for either	2021 International Mechani 2021 International Plumbin
	underground or overhead connections. GC shall verify location and condition of existing sewer lines and cleanouts.	2021 International Fire Cod
		2021 International Energy (
·10	<u>or Plans</u>	Symbol Logand
	Interior wall framing shall be 4" metal studs @ 16" o.c., u.n.o. Verify with Structural Engineer. Locate hose bibs approximately 24" above finish grade u.n.o.	Symbol Legend
	Heights indicated on plans are relative to finish floor and not to top of foundation or deck (except where foundation is exposed).	0'' DI
	Walls that are not hatched do not extend to ceiling. Dimensions are to face of stud or to centerline of columns, doors and windows.	Site Pla
	Install Tempered Glass where required by IBC	3/32"=1'-
	All handrails installed shall comply with IBC All guardrails installed shall comply with IBC	detail number —
	Though dimensions are believed to be reasonably accurate, careful measurements shall be made from the existing structure prior to fabricating materials or preparing work which is to be	00
0.	installed. Some surfaces may not be plumb level or true (alert Architect of any significant discrepancies). GC shall compare and field verify plan dimensions with existing conditions. GC shall coordinate and verify any field adjustments based on existing conditions with Architect.	Ax.x
1.	Structural engineering and structural determinations shall be provided by a licensed professional engineer. Architect is not responsible for structural engineering.	sheet number
2.	Interior walls and ceilings shall be clad with gypsum wallboard panels and prepared to receive finish materials, including paint, plaster, and wood decking or paneling. Walls and ceilings to receive tile shall be clad with a suitable cementitious fiberboard.	
3.	Contractor to verify compliance with egress requirements per applicable codes.	detail number —
		00
Ro	of Plans	sheet number
	Dimensions on plans are from outside face of framing unless noted otherwise.	r
	Locate all plumbing & exhaust caps in nearest roof plane out of view from street, courtyards	•
	or rear yard whereever possible. Exposed metal plumbing & exhaust vents shall be installed with cap as close to roof plane as	room
	possible. Exposed metal roof vents shall be painted to match roof.	room fir
	Plumbing vents shall have as low a profile as possible Downspouts reaching grade or foundation shall tie into a subgrade drainage system. Provide	0'-0" clg
	sleeves in foundation as needed.	
	Underlayment: One layer of No. 30 asphalt-saturated felt complying with ASTM D-226 Type II (ASTM D4869 Type IV) or approved equal is required as minimal underlayment on all tile	00/Ax.x
	roof applications. Tile installed on roofs with a slope less than 3:12 is considered decorative	
	and shall require the installation of an approved built-up roof, or a single-ply roof membrane assembly. Where roof slopes fall between 3:12 and 4:12, a single layer, type 90	00/A
	granular-surface, asphalt roll roofing; or two layers of No. 30 felt, installed shingle fashion; or single-ply system installed per code may be used as underlayment.	
	single-ply system installed per code may be used as underlayment.	detail number —
:le	ctrical/Lighting Plans	detail Humber
	Outlets to comply with IBC and ADA requirements.	
	All fixtures and light bulbs to be approved by Owner prior to installation. All light switches shall be located 48" a.f.f. to center of device, u.n.o. Verify with Owner and Architect.	sheet number
	All lighting control / whole house control touch screens or keypads shall be located 48" a.f.f. to center of device, u.n.o. Verify with Owner and Architect.	detail number —
	Dimensions on electrical and lighting plans are drawn to center line of device or fixture. Interior wet area outlets shall be GFCI per code.	00
	Above counter outlets shall be located horizontally. See Electrical Plan for heights.	sheet number
	Lighting circuits shall be switched to dimmers, except in closets, storage, and mechanical spaces. Verify with Owner and Architect. Exterior outlets and fixtures shall be waterproof per IBC.	
0.	Prewire for security. Verify with Owner and Architect.	
1. 2	Prewire for speakers. Refer to drawings by A/V consultant. Verify with Owner and Architect. Appliances, electrical equipment and fixtures shall be installed per manufacturer's recommendations.	
3.	Stack switches in areas where number of switches is more than 4. Devices shall be centered on each other. Verify with Owner and Architect.	0'-0"x0'-0"
4. 6	Provide light fixtures and switches in attic at scuttles and/or pull down stairs as needed. Smoke Detectors to be installed per manufacturers specifications and IBC.	(A)
7.	Carbon Monoxide alarms to be installed per manufacturers specifications and IBC.	_
8. 9.	Electrical work shall be carried out in accordance with applicable codes and ordinances. Verify switch, outlet, cover style and color with Owner and Architect	01 0'-0"x0'-0"
0.	Field verify locations of recessed cans, pendants and surface mounted light fixtures with Owner and Architect PRIOR TO PULLING WIRE.	_
1.	Once locations have been clearly indicated in the field, field verify locations of electrical and lighting boxes, audio/video equipment and fixtures, information technology equipment and fixtures, automatic shade switches, thermostats, security equipment and smoke detectors with Architect and Owner PRIOR TO PULLING WIRE. It is to be expected that some field	₩
	modification will occur once the boxes and equipment locations have been walked with the owner & Architect. Verify in writing that all box and equipment locations are acceptable to Owner	•
2.	and Architect PRIOR TO PULLING WIRE. Eave-mounted flood lights shall be controlled by the security system. Provide a main disconnect switch to be located by Owner. As an alternate, install switches to individual flood circuits	
••	per plans.	
۱u	<u>dio Notes</u>	
	Speakers flush mounted in plaster or wood ceilings shall have round, paintable grilles. Outdoor speakers shall be surface mounted on the wall within 12" of ceiling.	
	Volume controls shall be located 42" to centerline above finished floor and centered above lighting switches	

1. Cooling equipment size and capacity shall be determined by means of ACCA's Manual J Residential Load Calculation Procedures. The sizing calculation shall be based on actual building

9. Ducts shall be cut to exact length with the original diameter maintained. No single bend more than 90 degrees, and no change in direction more than 180 degrees for any single duct shall be

12. Return air grilles shall have a minimum face dimension of 200 square inches per ton of cooling. The return air ducts shall be sized to match the air flow. Verify with Owner and Architect.

17. The building envelope and HVAC system shall be tested by a third party home-performance testing company approved by Architect. Testing shall consist of the following: a) Blower door test resulting in no more than 0.5 air changes per hour; b) system air flow, static pressure and return air sizing; c) duct leakage resulting in less than 10% as verified by a direct pressure test; d)

Heating, Ventilating and Air Conditioning

design, specifications, orientation, and climate data of a project.

6. Gas furnaces shall be sealed-combustion, direct-vent models.

Combustion safety, backdraft test

4. Ducts outside the thermal envelope shall be wrapped with R-8 insulation.

7. Cooling equipment minimum efficiency shall be 14.0 SEER for split systems.

2. Thermostats installed at 5' and located centered above light switches. Verify with Owner and Architect.

5. Air handlers and compressors shall have variable speed capacity with a minimum of 600 s.f. per ton of cooling

13. Pleated media filters no smaller than 4 inches shall be installed at the air handler and shall be easily accessible.14. Provide mechanical ventilation with damper and humidity sensor to bring outside air into return air plenum.

8. Duct plenum and main trunk lines shall be sheet metal with flex-duct connections to the diffusers. Length of flexible ducts shall not exceed 10 ft.

10. Supply registers shall be placed on the ceiling or high on the wall and shall be curved blade type. Verify with Owner and Architect.

3. Indoor HVAC equipment, including ducts, shall be located within the thermal envelope.

11. Pressure-relief for all bedrooms shall be provided by means of jump ducts or ducted returns.

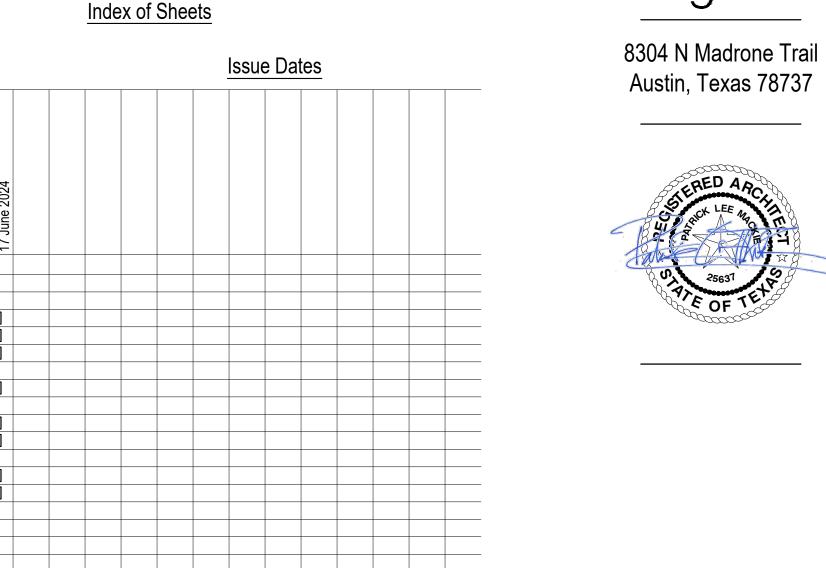
15. Ductwork shall be masked and sealed at supplies and returns during construction.16. Only programmable thermostats shall be installed. Verify with Owner and Architect.

.971 of an acre of land, more or less, being part of Original Lot 29 in tghe Coty of Boerne, Kendall County, Texas and being the same tract of land conveyed to Barbara Polito recorded in Vol. 525, Pg. 612, Kendall County Official Records. <u>Jurisdiction</u> City of Boerne Code Compliance This project shall comply with the following codes and local amendments: 2021 International Building Code 2020 National Electrical Code 2021 International Mechanical Code 2021 International Plumbing Code 2021 International Fire Code 2021 International Energy Conservation Code Symbol Legend Elevation Symbol sheet number detail number **Building Section Symbol** sheet number -00/Ax.x detail number sheet number detail number -Detail Symbol sheet number x:12 A Window Symbol 0'-0"x0'-0" Equipment Symbol

CTV	Cable Box	ф	Dimmer Switch	Recessed Can
∈ [gas]=	Gas Meter	K	Keypad	Recessed Can (directional)
EM	Electric Meter	0	Exhaust Fan	Recessed Can (waterproof)
23	Phone Connection Box	——	Under/Over Cabinet Lights	Ceiling Surface Mount
○ SA	Septic Alarm	0	Junction Box	Owner Provided Ceiling Fixture
S	Speaker	→ ^{+42"}	Outlet	Architectural Wall Sconce
————gas	Gas	 	Fourplex Outlet	Owner Provided Wall Sconce
——O ^{key}	Gas Key	=	Switched Duplex Outlet	0.6 14 1.15
-<+	Television Cable	#	220 Outlet	Surface Mounted Fluorescent
Д РН	Telephone	⇒ GFI	GFI Outlet	Track Lighting
₫ DATA	Data Port	\Longrightarrow_{WP}	Waterproof Outlet	Track Lighting Fixture
₫ PH DATA	Telephone/Data Port	Ø _{CLG}	Ceiling Outlet	Step Light
		$ ot\!$	Floor Plug	Smoke Detector/Carbon Monoxide
	Ceiling Fan	o∕©≂ USB	USB Outlet	Security Keypad
		GDO 1	Garage Door Opener	Security Camera
	Ceiling Supply Air Register	C	Communication	Sprinkler Head
SA	Wall Supply Air Register	T	Thermostat	Switch
RA	Ceiling Return Air Register	→	Doorbell	3-Way Switch

Electrical Sub-Panel

Wall Return Air Register



<u>Sheets</u>

☐ Re-Issued, No Change ☐ Eliminated

New Drawing

ARCHITECTURAL

A0.0 - Cover Sheet

A0.1 - General Notes

A0.2 - ADA Guidelines

A2.1 - Existing and Demolition Plans

A2.2 - New and Roof Plans

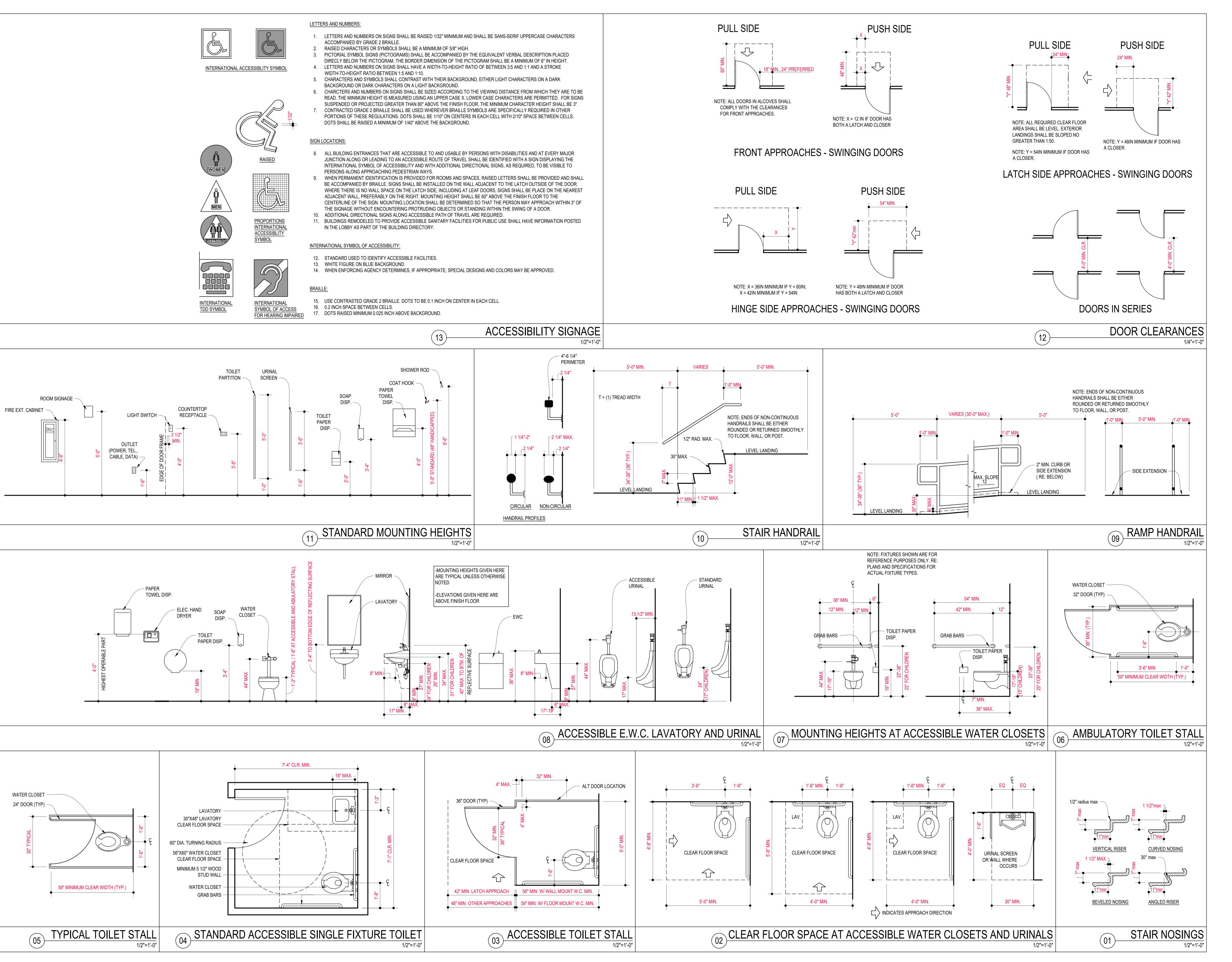
A3.0 - Finish Elevations
A3.1 - New Elevations

A1.1 - Site Plan

TuTu's Garden 262 South Main Street

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General Note







A0.2

ADA

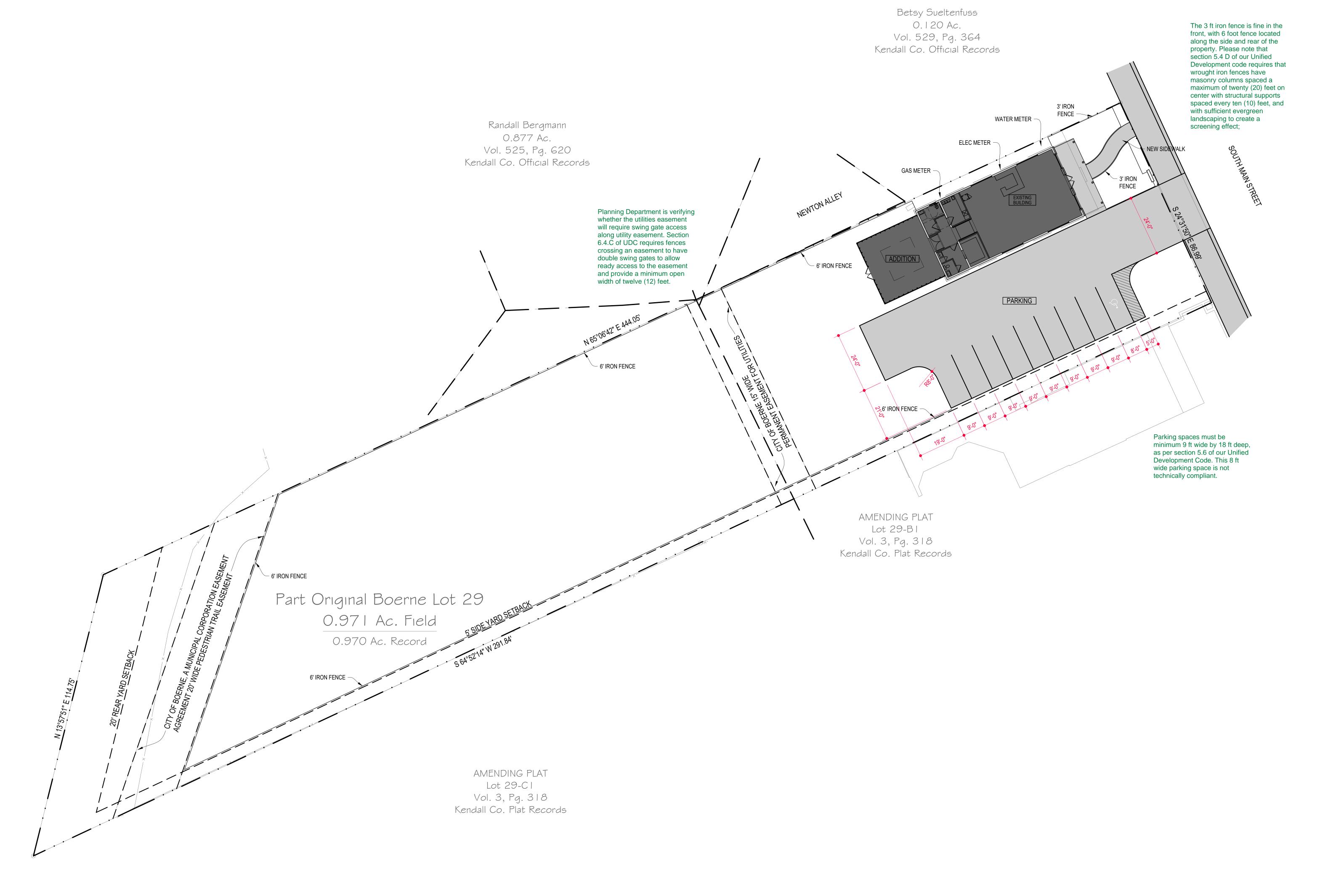
Reference is made to a field note description of 0.97 l ac. dated October 25 \$ 27, 20 | 0 accompanying this plat.

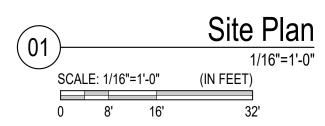
Location and type of underground utilities, etc. if any, with associated equipment that are on or that enter, cross or leave this tract are unknown.

Existing fences where shown actually meander back and forth generally along and not necessarily on line.

8304 N Madrone Trail Austin, Texas 78737







A1.1

Site Plan

Issued



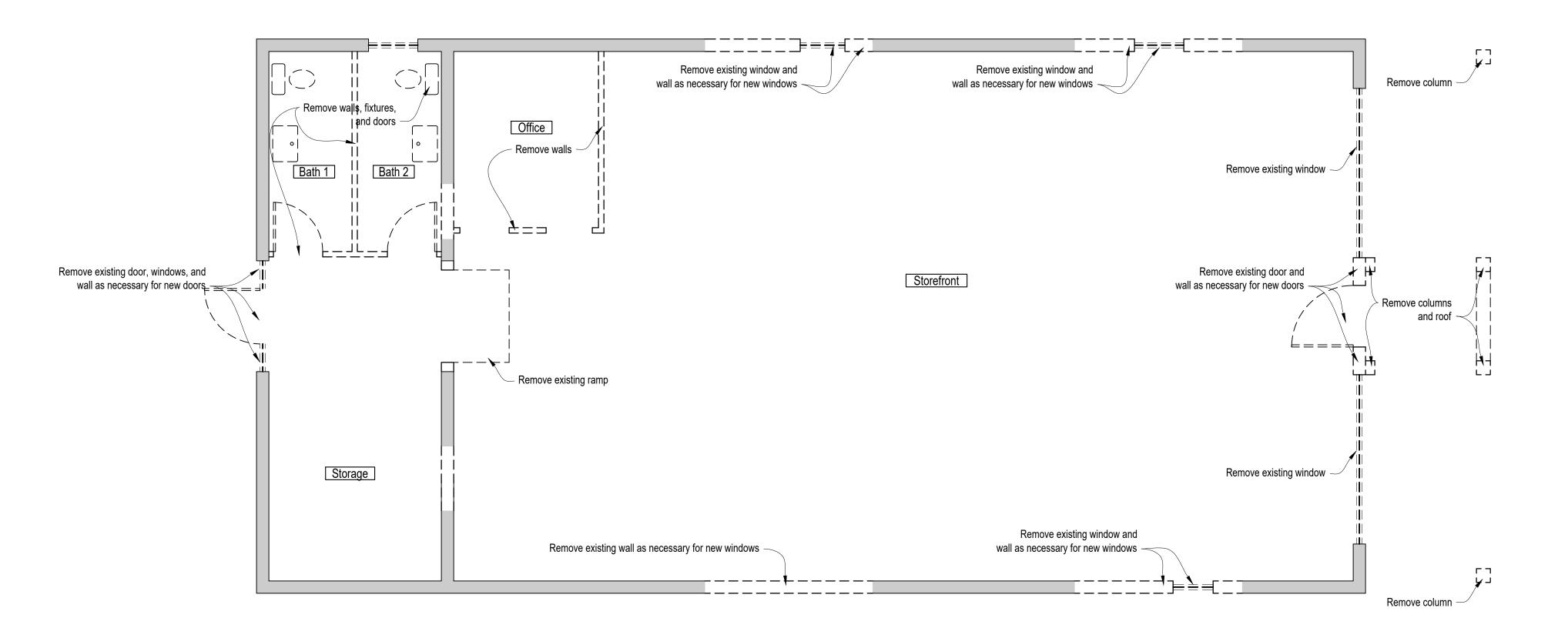




Tu's Garden 2 South Main Street e, Texas

TuT 262 Boerne,

Issued



04 A3.1

Demolition Plan

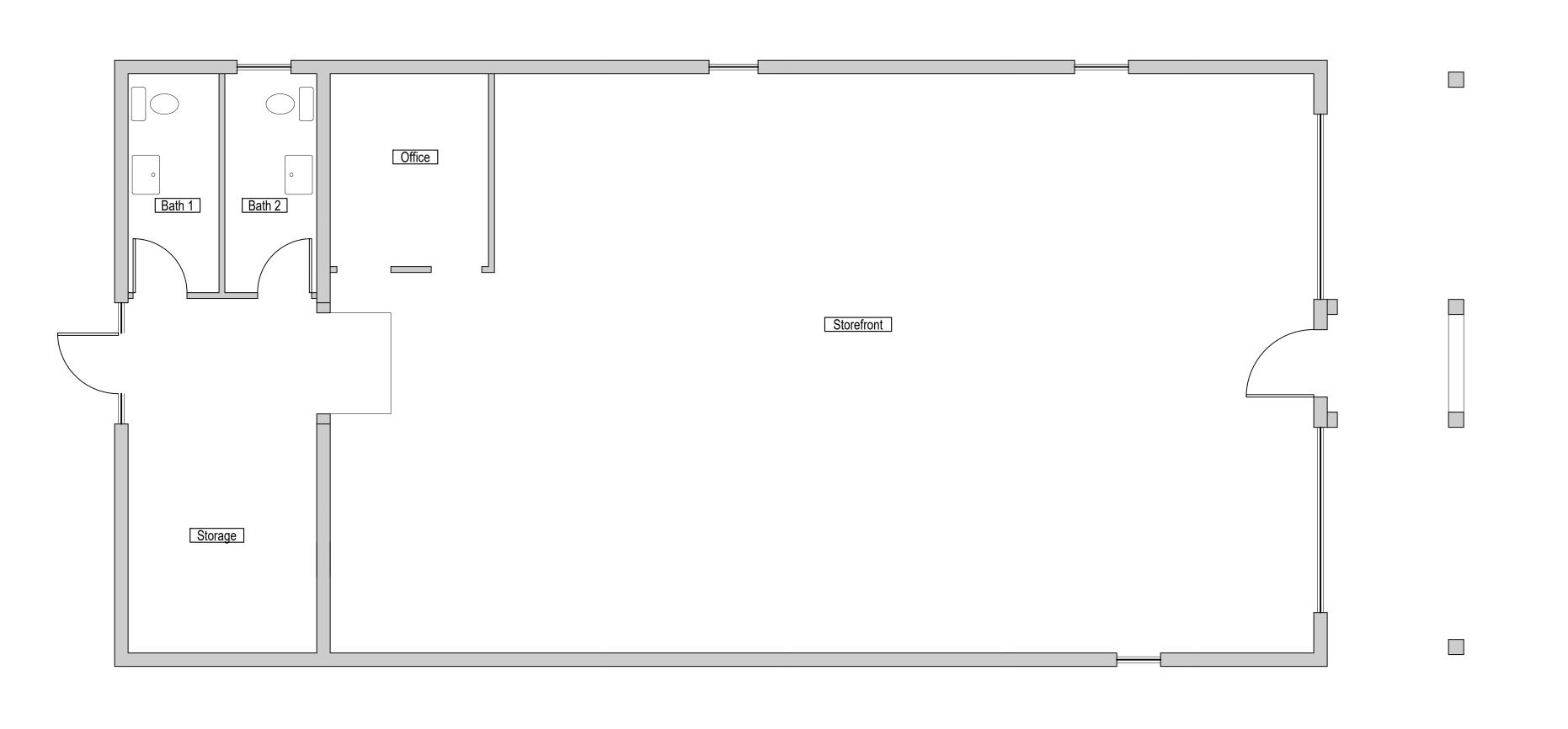
1/4"=1'-0"

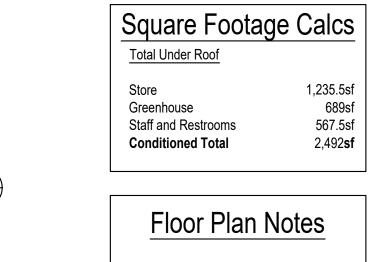
SCALE: 1/4"=1'-0" (IN FEET)

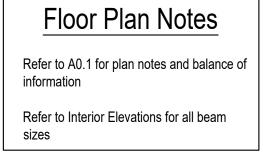
2' 4' 8'

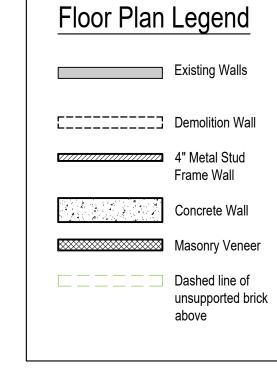
02 A3.1

04 A3.1





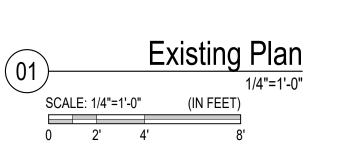




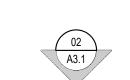
For Permit
17 June 2024

Existing &

Demoltion Plans

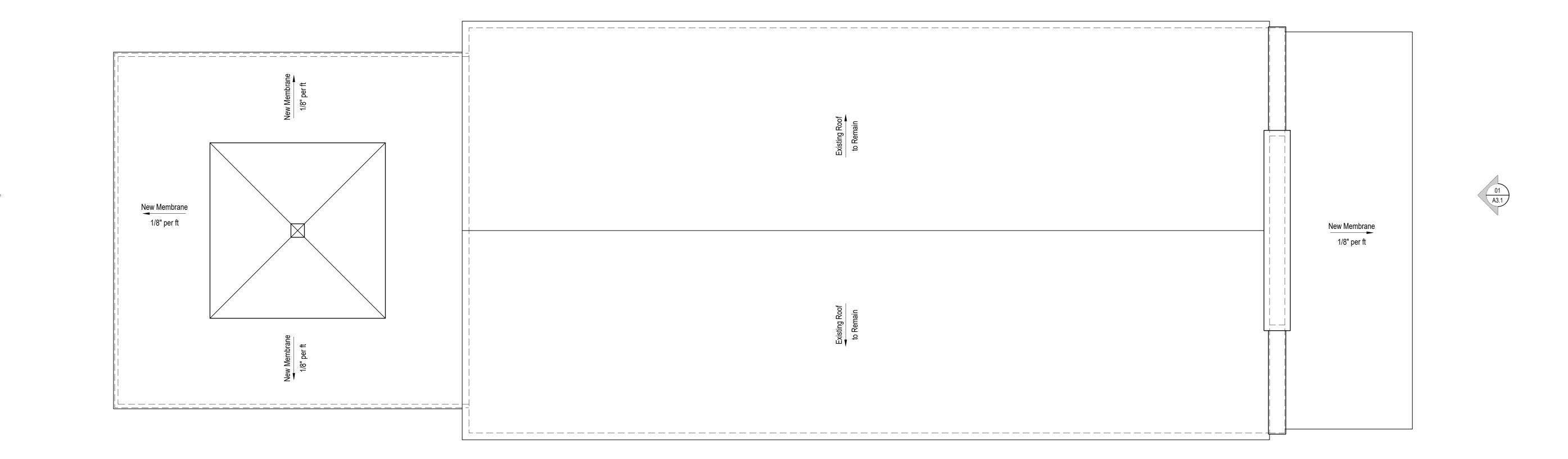




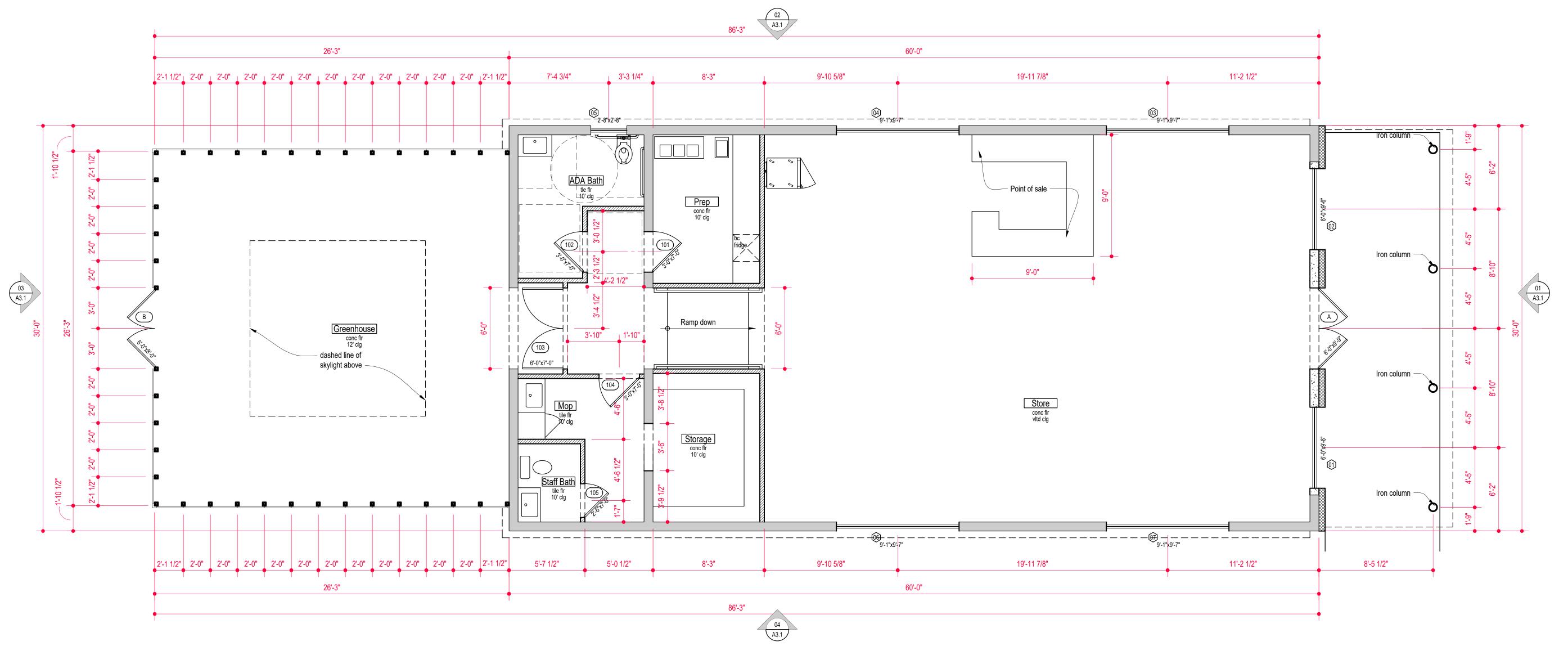


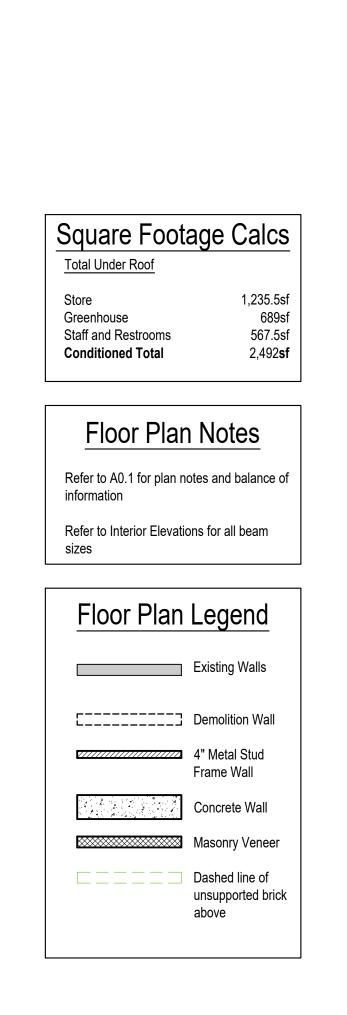












New &

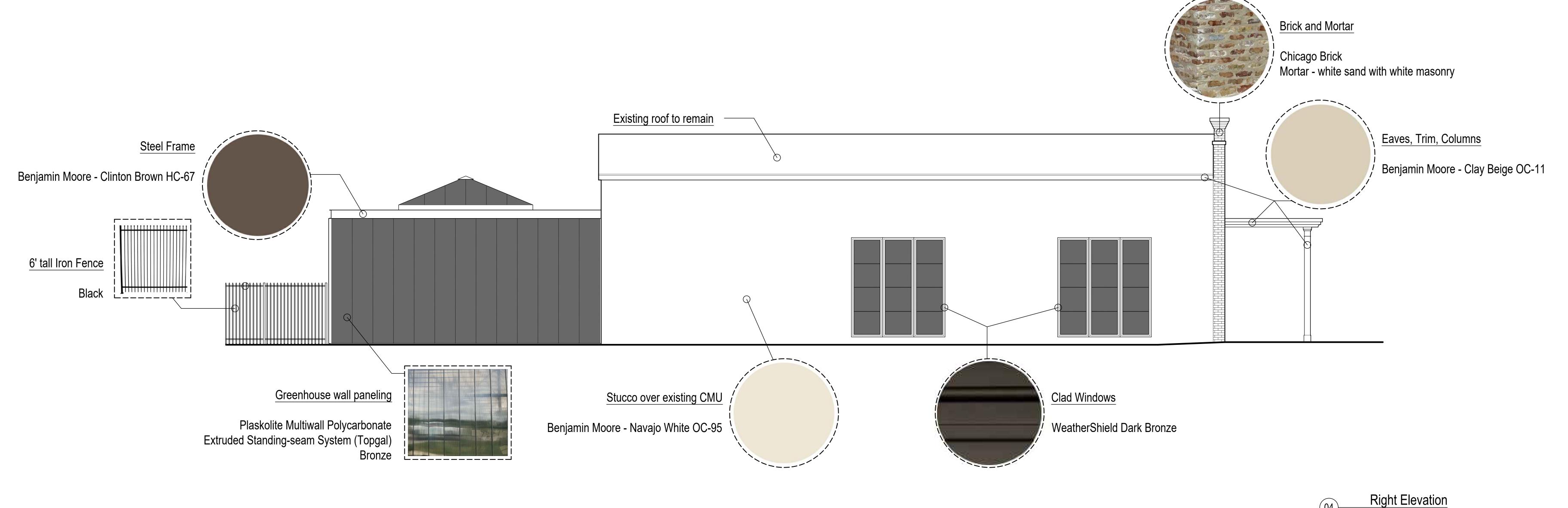
Roof Plans

For Permit 17 June 2024

Issued

TuTu's Garden 262 South Main Street Boerne, Texas

Issued



04 Right Elevation

Please revise drawings to address comment about front facade window placement/height, provided on sheet 1. In addition, section 3.11.E.f. of the Historic District Overlay specifies the following building materials:

ii.If bricks are used as façade material on the building, such brick shall closely match traditional mortar and brick color tones. White or light mortars shall not be used with dark brick colors.

Please reconsider choice of white mortar in the description, to select a more historic (darker color) mortar color, - this can be achieved by mixing light cement with a small amount of red sand, to achieve more of an off-white/beige mortar color. The photo below appears to show an off-white/beige mortar color, which is fine, but the descriptions says white sand with white masonry, which is not permitted in the district. Please revise description.





Front Elevation

1/4"=1'-0"

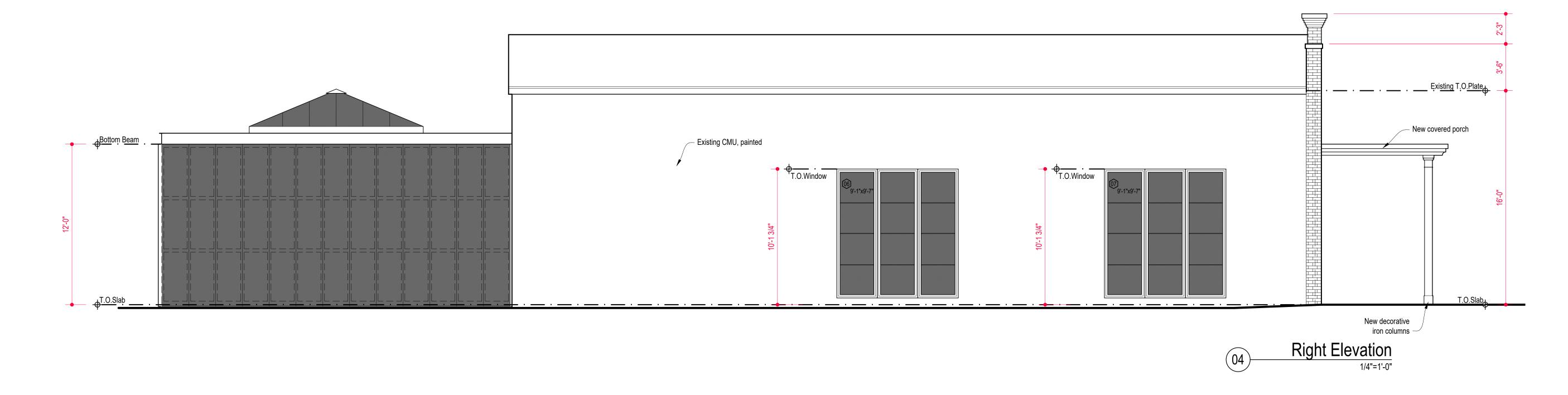
A3.0

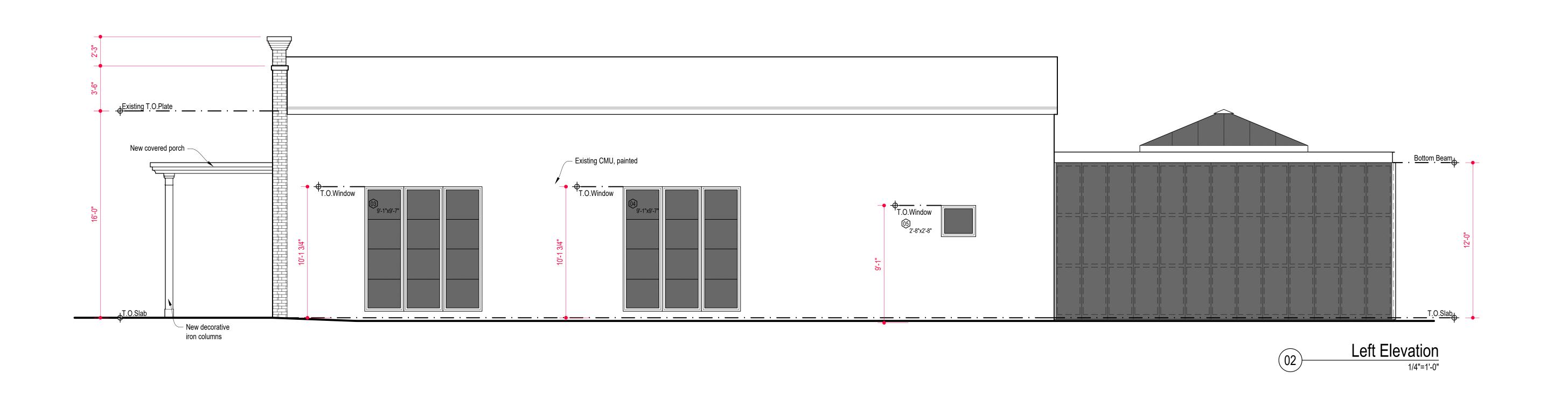
For Permit 17 June 2024

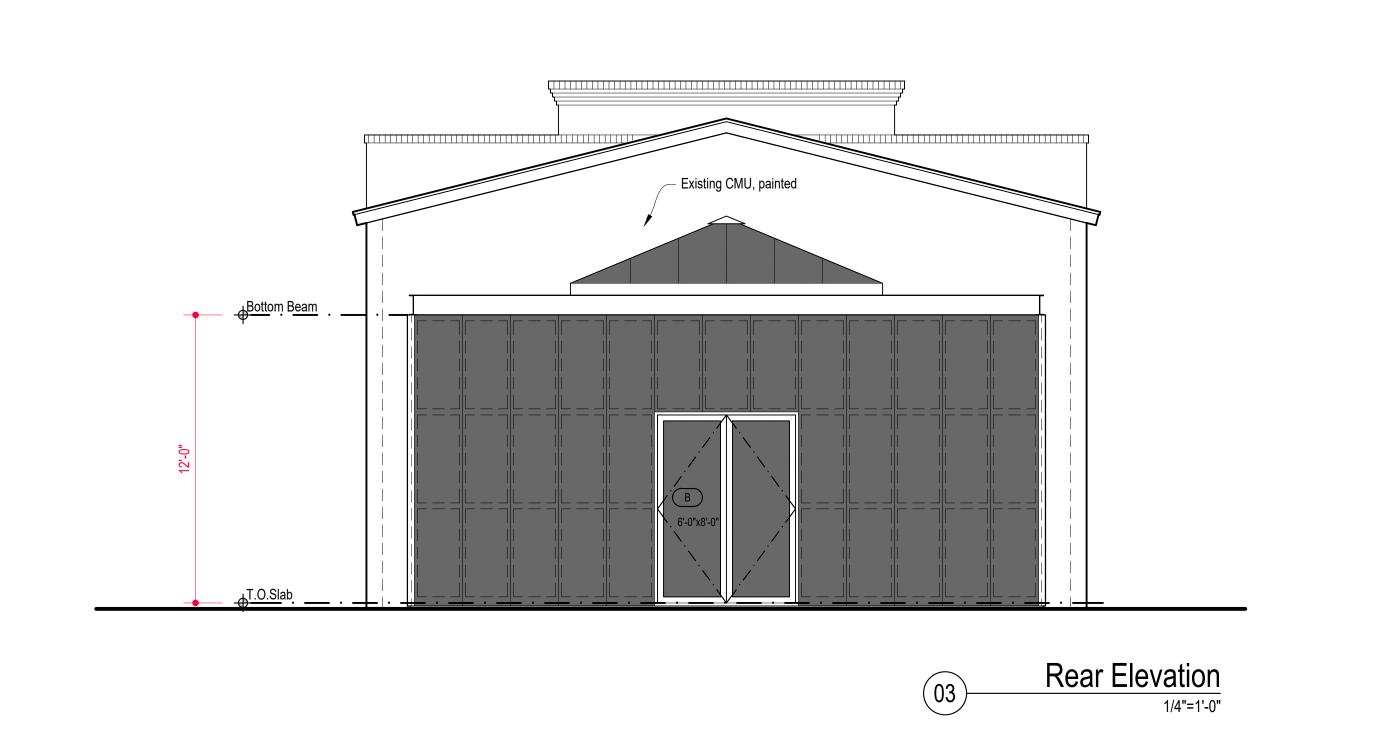
Finish

Elevations











Front Elevation

1/4"=1'-0"

SCALE: 1/4"=1'-0" (IN FEET)

0 2' 4' 8'

Exterior
Elevations

A 2 1

TuTu's Garden 262 South Main Street Boerne, Texas

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